



City of Tampa

Jane Castor, Mayor

Contract Administration

Michael W. Chucran, Director

306 East Jackson Street, 4N

Tampa, FL 33602

Office (813) 274-8116

Fax: (813) 274-7368

ADDENDUM 1

Via E-Mail

DATE: January 19, 2023

Contract: 20-C-00023; Kid Mason Community Center

Bidders on the above referenced project are hereby notified that the following addendum is made to the Contract Documents. BIDS TO BE SUBMITTED SHALL CONFORM TO THIS NOTICE.

Item 1: Add the attached Site Construction Plans.

All other provisions of the Contract Documents and Specifications not in conflict with this Addendum shall remain in full force and effect. Questions are to be e-mailed to ContractAdministration@tampagov.net.

Jim Greiner

Jim Greiner, P.E., Contract Management Supervisor

Kid Mason Center Renovations

SITE PLAN CONSTRUCTION DOCUMENTS

PREPARED BY:



Parks & Recreation
CITY OF TAMPA

City of Tampa Parks & Recreation Department
Planning & Design Division
3402 W. Columbus Drive
Tampa, Florida 33607

SUBMITTALS

- 1) City of Tampa - Planning DDR-21-0000003
 - 1.1 Submittal 01/19/2021
 - 1.2 Resubmit 04/20/2021
 - 1.3 Resubmit 07/23/2021 APPROVED
- 2) City of Tampa - Building BLD-22-0491693
 - 2.1 Submittal 03/09/2022
 - 2.2 Resubmit 06/08/2022 Revision #2
- 3) City of Tampa - Building BLD-22-0491851
 - 3.1 Submittal 03/24/2022
 - 3.2 Resubmit 05/26/2022 Revision #1

City of Tampa
CONSTRUCTION SERVICES DIVISION

Deferred Submittal

Deferred submittals have been approved for this project. All items deferred must be submitted for review and approval prior to installation in the field as a **Building Revision Record**. The Stamping of this plan shall not be held to permit or approve the violation of any City or State Codes

City of Tampa
MOBILITY DIVISION

Vision ZERO Tampa

Work within the City's Right-of-Way (ROW) must be performed in Conformance with City Code Sec 22-60. A ROW Permit and Maintenance of Traffic (MOT) plan may be required. www.tampa.gov/permits

The City of Tampa is committed to eliminating fatal and serious injury crashes on our streets; establishing safe work zones and providing pathways for pedestrians support this goal.

APPROVED
By Duane Aurich at 8/29/2022 1:19:42 PM

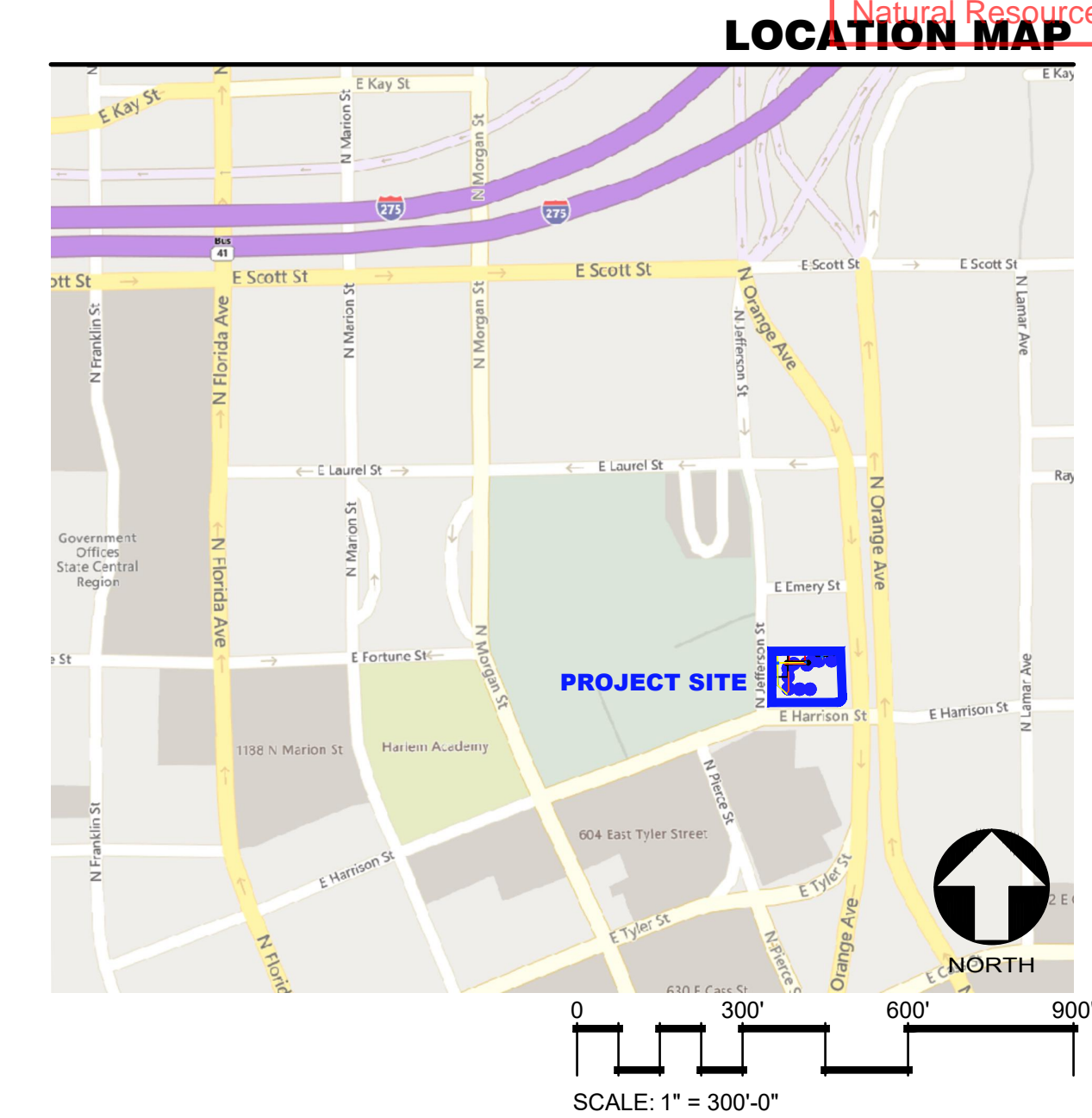
SHEET LIST

Sheet List Table		Submittal							
Sheet	Sheet Title	1.1	1.2	1.3	2.1	2.2	3.1	3.2	
General									
G001	Cover Sheet	-	-	Rev1 ^a	ISS	Rev2 ^c	-	-	-
G002	General Notes	-	-	-	ISS	Rev1 ^b	-	Rev1 ^b	-
Existing Conditions									
LX101	Aerial Overlay Plan	L1 ^{ab}	NC	Rev1	ISS	NC	-	-	-
LX102	Existing Conditions	L2 ^{ab}	NC	Rev1	ISS	Rev2 ^c	-	-	-
Demolition									
LD101	Tree Removal Plan	-	-	Rev1 ^b	ISS	Rev2 ^c	-	-	-
LD102	Demolition Plan	-	-	Rev1 ^b	ISS	Rev2 ^c	-	-	-
Grading & Drainage									
LG101	Existing Grade Plan	-	-	Rev1 ^b	ISS	NC	-	-	-
LG102	Erosion Control Plan	-	-	-	ISS	Rev2 ^c	-	-	-
LG103	Grading Plan	-	-	LG102 ^b	ISS	Rev2 ^c	-	-	-
LG104	Sleeving & Drainage Plan	-	-	-	ISS	Rev2 ^c	-	-	-
LG501	Erosion Control Details	-	-	-	ISS	Rev2 ^c	-	-	-
LG502	Drainage Details	-	-	-	ISS	NC	-	-	-
LG503	Bio'Basin Details	-	-	-	ISS	NC	-	-	-
Site									
LS101	Site Plan	L4 ^{ab}	NC	Rev1	ISS	Rev2 ^c	-	Rev1 ^b	-
LS102	Roadway Plan	-	-	-	ISS	Rev2 ^c	-	-	-
LS103	Signage Plan	-	-	-	ISS	Rev2 ^c	-	-	-
LS104	Pavement Marking Plan	-	-	-	ISS	Rev2 ^c	-	-	-
LS105	Signalization Plan	-	-	-	ISS	Rev2 ^c	-	-	-
LS106	Life Safety Plan	-	-	-	ISS	Rev2 ^b	-	-	-
LS401	Conc. Joint Detail Plan	-	-	-	ISS	NC	-	-	-
LS501	Fencing Details	-	-	-	ISS	Rev2 ^c	-	Rev1 ^b	-
LS502	Typical Fence Details	-	-	-	ISS	Rev2 ^c	-	-	-
LS503	Signage Details	-	-	-	ISS	Rev2 ^c	-	-	-
LS504	Access Ramps	-	-	-	ISS	NC	-	-	-
LS505	Downspout & Gutter Plan	-	-	-	ISS	Rev2 ^c	-	-	-
LS506	Site Furnishings	-	-	-	ISS	NC	-	-	-
LS507	Paving Details	-	-	-	ISS	NC	-	ISS	-
LS508	Play Area Details	-	-	-	ISS	NC	-	-	-
LS509	Signalization Details	-	-	-	ISS	NC	-	-	-
Planting									
LP001	Planting Notes	-	-	-	ISS	Rev2 ^c	-	-	-
LP101	Landscape Plan	L8 ^{ab}	NC	Rev1	ISS	Rev2 ^c	-	-	-
LP501	Planting Details	-	-	-	ISS	NC	-	-	-
Irrigation									
LI101	Irrigation Plan	-	-	-	ISS	Rev2 ^c	-	-	-
LI102	Irrigation Wiring	-	-	-	ISS	Rev2 ^c	-	-	-
LI401	Enlarged Irrigation Plans	-	-	-	ISS	Rev2 ^c	-	-	-
LI501	Irrigation Details	-	-	-	ISS	Rev2 ^c	-	-	-
Lighting									
UL101	TECO Lighting Plan	-	-	-	ISS	NC	-	-	-
Utility									
LU101	Existing Utility Plan	-	NC	Rev1 ^b	ISS	NC	-	-	-
LU102	Proposed Utility Plan	-	-	-	ISS	Rev2 ^c	-	-	-
LU501	Utility Details	-	-	-	ISS	Rev2 ^c	-	-	-
Design District									
LK101	Open Space Plan	L3 ^{ab}	NC	Rev1 ^b	ISS	Rev2 ^c	-	-	-
LK102	Overall Streetscape Plan	L5 ^{ab}	NC	Rev1 ^b	ISS	Rev2 ^c	-	-	-
LK401	Streetscape Detail Plan	L6 ^{ab}	NC	Rev1 ^b	ISS	NC	-	-	-
LK402	Streetscape Detail Plan	L7 ^{ab}	NC	Rev1 ^b	ISS	Rev2 ^c	-	-	-
LK701	Rendered Site Plan	L9 ^{ab}	NC	LS701 ^a	ISS	Rev2 ^c	-	-	-

- Sheet Excluded from Submittal.
 NC No Change to Sheet
 REM Sheet removed from Set in Submittal
 Rev^a Changes to Sheet per Current Revision
 ISS Initial Issue

^a Sheet number in submittal
^b New sheet Issued
^c Minor changes reflected from another sheet
^d Changes to Sheet per Current Revision
 ■ MOST CURRENT SHEET

- Site - Duane Aurich - Approved - 8/20/2022
- Building - Oscar Moreno - Approved with Comments - 8/23/2022
- Mechanical - Oscar Moreno - Approved - 8/23/2022
- Electrical - Oscar Moreno - Approved - 8/23/2022
- Plumbing - Duane Aurich - Approved - 8/29/2022
- Fire - David Cogan - Approved - 8/25/2022
- Urban Design - Andy Mikulski - Approved - 9/2/2022
- Natural Resources - Joseph Cermak - Approved - 8/31/2022



CODE INFORMATION

APPLICABLE CODES

2020 FLORIDA BUILDING CODE (7TH EDITION)
 2017 NATIONAL ELECTRICAL CODE (NEC)
 2020 (7TH EDITION) FLORIDA FIRE PREVENTION CODE

SITE INFORMATION

ADDRESS: 1101 N JEFFERSON ST, TAMPA 33602
 PIN: A-13-29-1B-4Y2-000012-00007.0
 FOLIO: 193101-0000
 NEIGHBORHOOD: 205013.00 | Downtown Area
 LEGAL DESC.: EMERY AND SIMMONS' ADDITION
 LOTS 7 AND 8 BLOCK 12

LANDSCAPE ARCHITECT OF RECORD:

PROFESSIONAL: CHRISTOPHER SELWYN THOMPSON, PLA
 CITY OF TAMPA

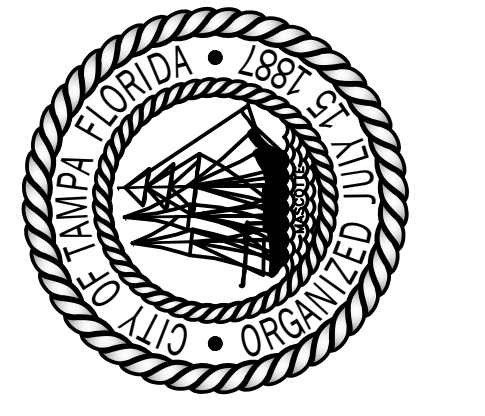
LICENSE NO. LAG667249

EMAIL: CHRIS.THOMPSON@TAMPAGOV.NET

TEL: (813) 274-5155

City of Tampa
CONSTRUCTION SERVICES DIVISION
PLAN APPROVAL
BLD-22-0491693 9/6/2022
THIS SET OF PLANS MUST BE KEPT ON THE JOB AT ALL TIMES.
2) BLD REV. 6/8/22
The Stamping of this plan shall not be held to permit or approve the violation of any City or State Codes REVIEWED FOR CODE COMPLIANCE

KID MASON CENTER RENOVATION COVER SHEET
PROJECT SHEET



Parks & Recreation
CITY OF TAMPA
Planning and Design
3402 W. Columbus Drive
Tampa, FL 33607

REGISTERED LANDSCAPE ARCHITECT
LA 8667249
CHRISTOPHER SELWYN THOMPSON
STATE OF FLORIDA

Drawn: CT
 Checked: KP
 Approved: CT
 Date: MARCH 9, 2022
 Sheet Size: ARCH D
 Sheet Scale: 1" = 300'-0"
 Sheet
G001
 of 45 Sheets

TECHNICAL MAINTENANCE PLAN																								
90 DAY MAINTENANCE (WEEKLY CYCLE)						CITY OF TAMPA COMMITMENT ON A YEARLY CYCLE																		
MONTH	FIRST			SECOND			THIRD			JAN	FEB	MAR	APR	MAY	JUNE	JULY	AUG	SEPT	OCT	NOV	DEC			
WEEK(S)	1	2	3	4	5	6	7	8	9	10	11	12	1-4	5-8	9-13	14-17	18-21	22-26	27-30	31-34	35-39	40-43	44-47	48-52
WATERING	The Contractor shall provide a watering frequency and schedule to the City for the MIR irrigation system for the maintenance period duration.												City shall water once a week or as needed after the 90 day maintenance period (during drought periods) using City water truck.											
TIMES	7	7	5	5	3	3	3	3	2	2	2	2	0-2	0-2	0-2	0-2	0-2	0-2	0-2	0-2	0-2	0-2	0-2	0-2
WEEDING / LITTER PICKUP	Contractor shall hand weed and pick up litter in all planting beds and individual tree wells every two weeks during the maintenance period duration.												Weeding every 14 days as indicated using an approved herbicide such as "Round Up" or equal applied at the rate of 1 1/2 oz. per gallon and applied by a licensed applicator or under the supervision of a licensed applicator. Litter pick up performed prior to application of herbicide.											
TIMES	1	1	1	1	1	1	1	1	1	1	1	1	2	2	2	2	2	2	2	2	2	2	2	2
PRUNING	As needed to mechanically removed damaged branches. Contractor shall maintain State of Florida #1 form to attain final acceptance.												Pruning shall be accomplished using chain saws, hand saws, and/or lopping shears. Shrubs shall be pruned yearly to a height of 24" or less.											
FERTILIZING	Plant materials shall be fertilized when planted per Specifications.												Shrubs and groundcovers to be fertilized annually per Specifications.											
EDGING	Every 14 days by mechanical means.												Every 14 days by mechanical means.											
TIMES	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	
MULCHING	Restore 3" layer of mulch at end of 90 days.												Restore 3" layer of mulch once a year. See Plant List for mulch types to be used.											

PLANTING NOTES

- Verify existing project site conditions and proposed material quantities during the bidding process. Refer to project specifications for additional quality assurance and notification requirements.
- Plant material shall be Florida Grade No. 1 or better. Refer to project specifications for additional quality, measurement, and submittal requirements.
- See project specifications for plant substitution requirements.
- Plant material locations and bed outlines shall be staked or flagged on site for review by the City Representative prior to installation, adjust layout as necessary based on as-built conditions. See project specifications for additional information including notification requirements.
- Install plants per planting details and the project specifications.
- Provide finish grading per drawings and project specifications.
- See project specifications and details for finish soil layer, planting soil and bed preparation.
- Brace palms per details and specifications.
- Indicate whether and which trees will be stabilized. Field grown trees do not typically require supplemental stabilization, but anchoring may be desired to protect people and facilities in case of a failure or to minimize straightening. Note that the Department uses the urban tree foundation details with slight modifications. Smaller trees (< 3") are installed with lodge pole supports. Larger trees may be supported with proprietary guying systems or rootball staple detail.
- Establish plant material per project specifications and drawings; program irrigation system for establishment per specifications and drawings
- Maintain plant material from date of installation acceptance through the maintenance period per the project specifications.
- Request installation acceptance review per specifications.
- Maintain plant material throughout Maintenance and Establishment Period per project specifications.
- Request maintenance acceptance review per specifications.
- See project specifications for warranty requirements.
- The city representative may reject any work that does not meet the requirements of the project drawings or specifications. See specifications for additional information.
- Cleanup project site at the end of each day and at the completion of the project per the specifications and contract requirements.

PLANTING SOIL NOTES

- Provide planting soil in all planting beds and lawn areas per the project specifications, detail drawings, and/or following minimum depths:
 - Planting beds = 18"
 - BioBasin = 24"
- Depth of amended planting soil near existing trees may be adjusted as necessary to prevent damage to tree roots per the following guidelines.
 - Within 20 feet of a Grand Tree
 - Within 10 feet of a Protected Tree
- Planting beds near existing trees Tree planting pits shall be back-filled with existing soil per planting details and specs; trees in planting beds will be backfilled with surrounding planting soil.
- Test soil and submit reports/recommendations per project specifications.
- Prepare site and remove/stockpile existing soil per project specifications and [site preparation, demolition] plan.
- Remove deleterious material from planting areas and planting soil per project specifications.
- Ensure proper drainage of all planting areas and tree pits per project specifications and detail drawings.
- Treat planting soil with pre-emergent and post-emergent herbicides as necessary to ensure a weed-free medium at time of planting.

GENERAL PLANTING STANDARDS Table 284.3.2-B

- Landscaped areas shall consist of at least sixty (60) percent native plant material and/or plant material adapted to local climatic and edaphic conditions. Recommended trees, protected trees and plant material shall be planted in such a way as to conserve, preserve and enhance land uses, natural land features, and natural and aesthetic values. Nonliving natural material which permits percolation may also be used as necessary material in landscaping.
- A layer of mulch to a minimum depth of three (3) inches shall be specified on the site plan in plant beds and around individual trees in turf areas. Organic mulches are preferred. The mulch should not be placed directly against the plant stem or tree trunk. Mulch shall not be required in annual beds.
- Areas on the parcel which are used for stormwater retention or detention ponds with depressions of less than two (2) feet and the landscaped banks of such ponds from the mean high waterline to the top of the bank shall be credited on a one-to-one area basis toward meeting the landscaped area.
- If a hedge or other screen is used, it must be at least two (2) feet in height at time of planting.
- Where turf/grass sod is permitted, it shall be clean and free of weeds, noxious pests, and disease. Grass seed shall be delivered to the job site in bags with valid, state department of agriculture tags attached.
- All landscaped areas must allow for access to public and private utility facilities for maintenance purposes, where applicable.
- To avoid conflict with overhead power line(s), vegetation that exceeds twenty-five (25) feet in height at maturity shall not be planted closer than thirty (30) feet from the vertical plane of an existing power line, excluding service wires. The natural resources coordinator may grant an exception to this requirement, as part of any land use decision or site/building permit application, upon the applicant's ability to demonstrate the canopy growth structure of a proposed species will not create conflict with an existing power line. Consultation with the city's Tree Matrix (section 27-284.3.2) and local utility representative should occur for assistance on selecting suitable vegetative species.
- When an accessway intersects a public right-of-way or when the subject parcel abuts the intersection of two (2) or more public rights-of-way, all landscape within the triangular areas shall provide required cross-visibility at a level between thirty (30) inches and six (6) feet. Trees and plant material pruned in such a manner that cross-visibility is not hindered may be allowed, with approval of the city transportation engineer (PDD) and natural resources coordinator. Plantings, except turf or ground cover, shall not be planted closer than three (3) feet from the edge of any accessway pavement or right-of-way pavement.

PLANT SCHEDULE

TREES	QTY.	SIZE	COMMON	GENUS SPECIES	NOTES	FL NATIVE	FL FRIENDLY
	2	4" CAL	Natchez Crepe Myrtle	<i>Lagerstroemia fauriei</i> 'Natchez	Standard	NO	YES
PALMS	QTY.	SIZE	COMMON	GENUS SPECIES	NOTES	FL NATIVE	FL FRIENDLY
	4	18" CT	Palmetto	<i>Sabal palmetto</i>	Matched	YES	YES
SHRUBS/ORNAMENTAL GRASSES	QTY.	SIZE	COMMON	GENUS SPECIES	NOTES	FL NATIVE	FL FRIENDLY
	99	3 Gal	Horsetail	<i>Equisetum hyemale</i>		YES	NO
	4	7 Gal	Downy Jasmine	<i>Jasminum multiflorum</i>		NO	YES
	10	7 Gal	Dwarf Loropetalum	<i>Loropetalum chinense</i> 'Ruby'		NO	YES
	61	3 Gal	Pink Muhly Grass	<i>Muhlenbergia capillaris</i>		YES	YES
GROUNDCOVERS	QTY.	SIZE	COMMON	GENUS SPECIES	NOTES	FL NATIVE	FL FRIENDLY
	115	1 Gal	Evergreen Giant Liriope	<i>Liriope muscari</i> 'Evergreen Giant'		NO	YES
	335	SOD	EcoTurf	<i>Arachis glabrata</i>		NO	YES

MULCH SCHEDULE

QTY.	SIZE	DESCRIPTION	COLOR	DEPTH
1870 SF	1/2" - 1"	PINE BARK MULCH	NATURAL - BROWN	3"
384 SF	1 - 1 1/2"	MEDIUM WASHED SHELL	NATURALLY BLEACHED - WHITE	3"

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KID MASON CENTER RENOVATION PLANTING NOTES



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Approved:	CT
Date:	MARCH 9, 2022
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Sheet	LP001
of	45 Sheets

City of Tampa CONSTRUCTION SERVICES DIVISION	
BLD-22-0491693	9/6/2022
PLAN APPROVAL	
THIS SET OF PLANS MUST BE KEPT ON FILE AS AT ALL TIMES	
Revisions	Date
1) Chiller Dim	5/3/22
2) BLD REV	6/8/22

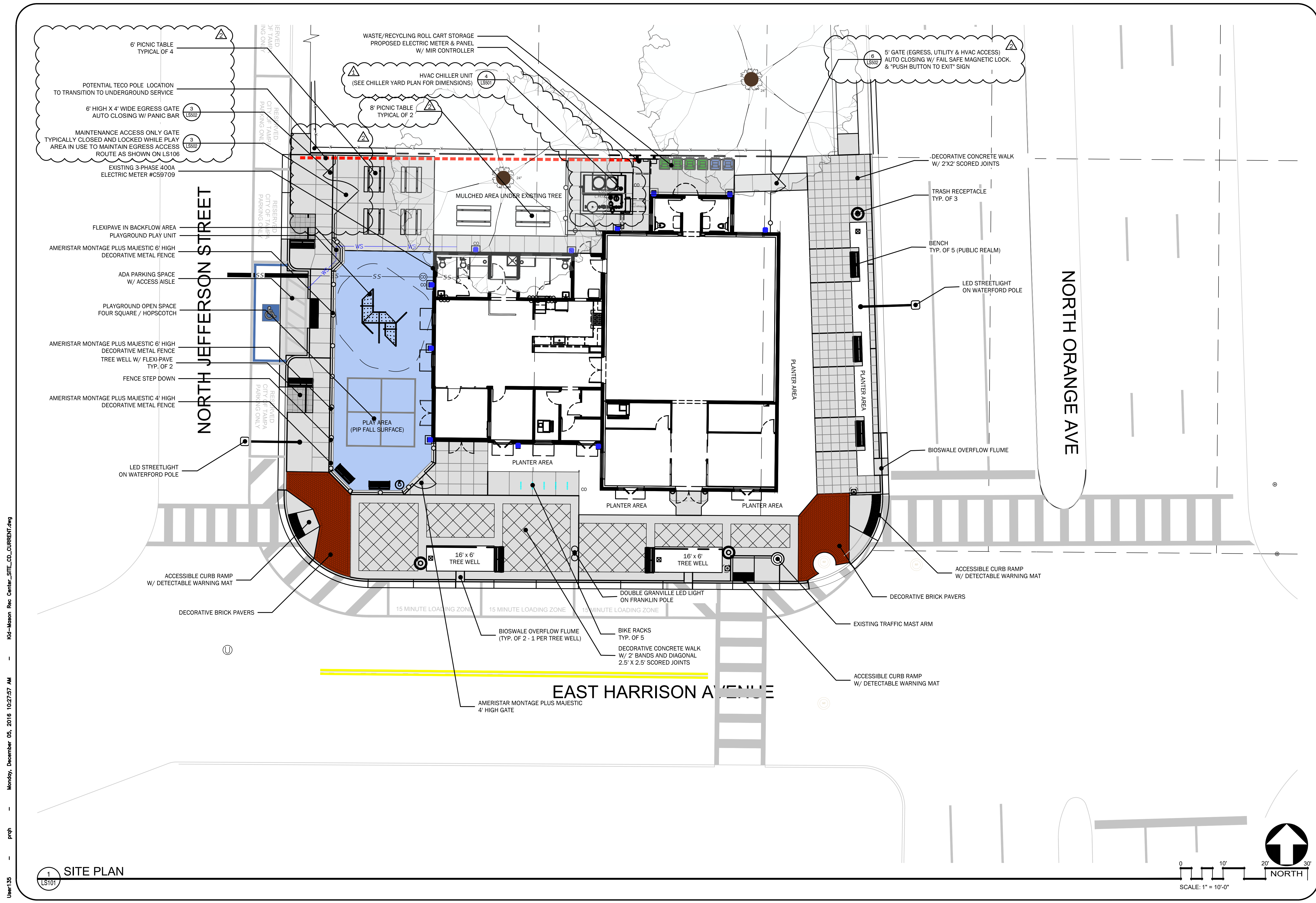
**KID MASON CENTER
RENOVATION
SITE PLAN**



**Parks & Recreation
CITY OF TAMPA**
Planning and Design
3402 W. Columbus Drive
Tampa, FL 33607

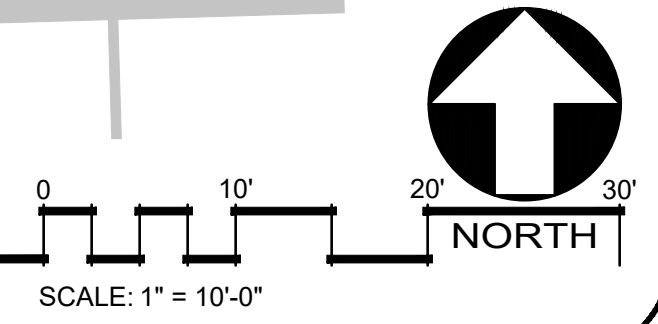


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1 SITE PLAN
LS101



KID MASON CENTER
RENOVATION
EXISTING GRADE PLAN



Parks & Recreation
CITY OF TAMPA
Planning and Design
3402 W. Columbus Drive
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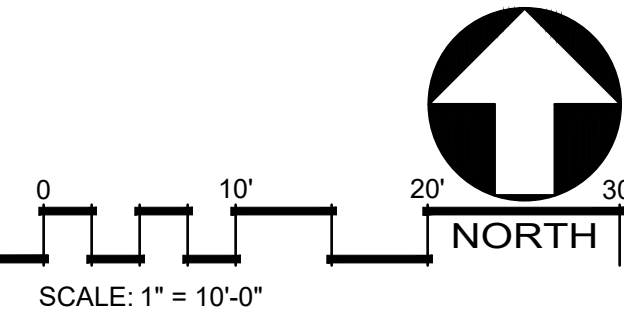


NORTH JEFFERSON STREET

NORTH ORANGE AVE

EAST HARRISON AVENUE

1 EXISTING GRADE PLAN
LG101

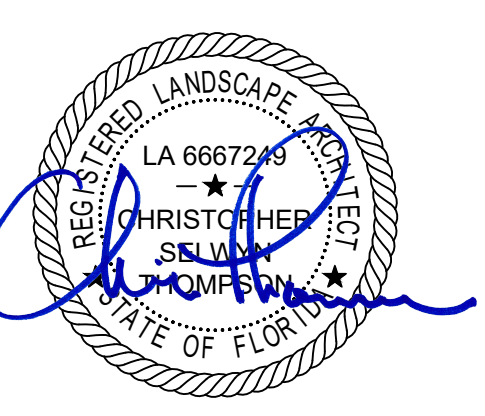


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KID MASON CENTER
RENOVATION
IRRIGATION PLAN



Parks & Recreation
CITY OF TAMPA
Planning and Design
3402 W. Columbus Drive
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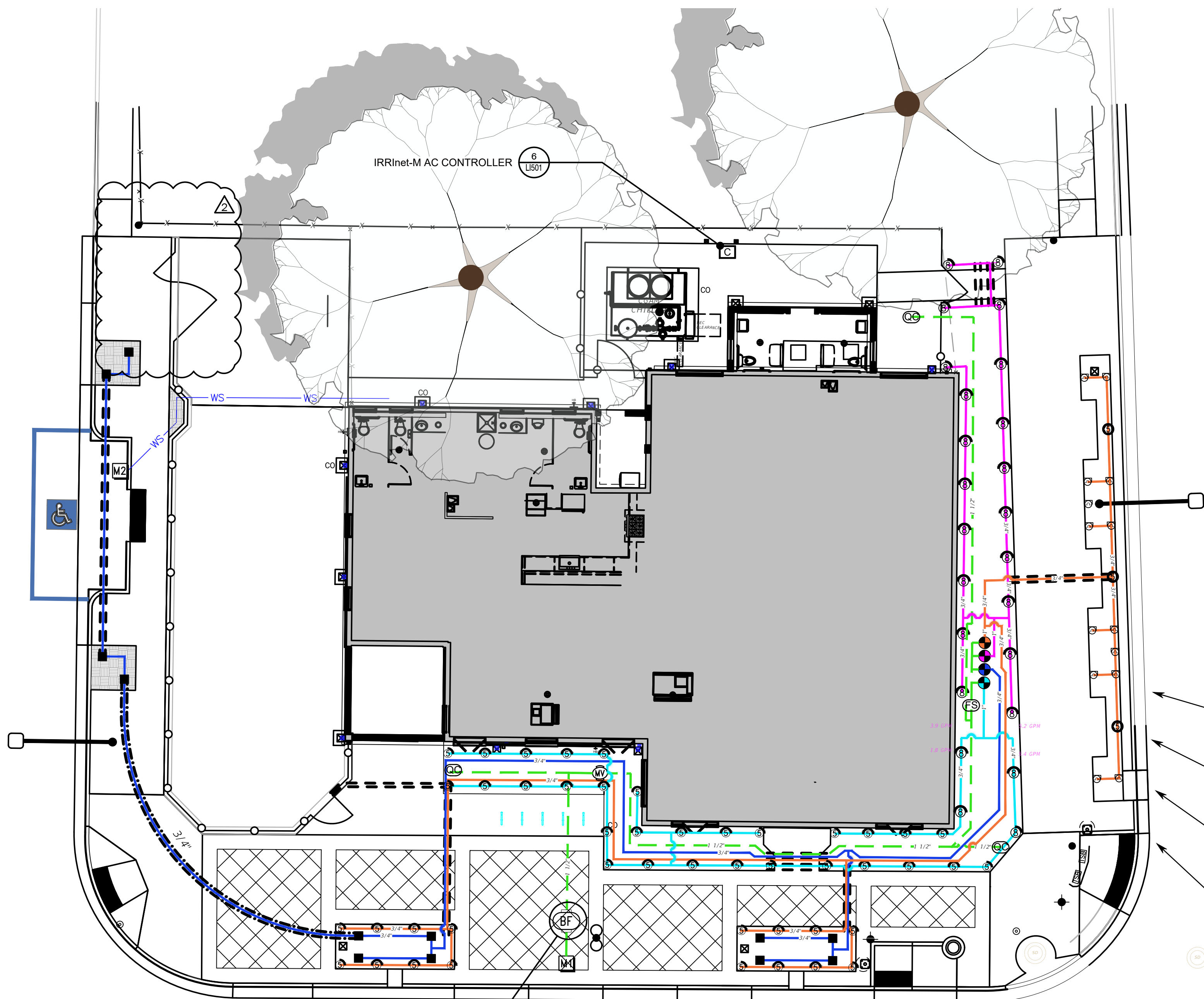


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NORTH JEFFERSON STREET

NORTH ORANGE AVE

EAST HARRISON AVENUE

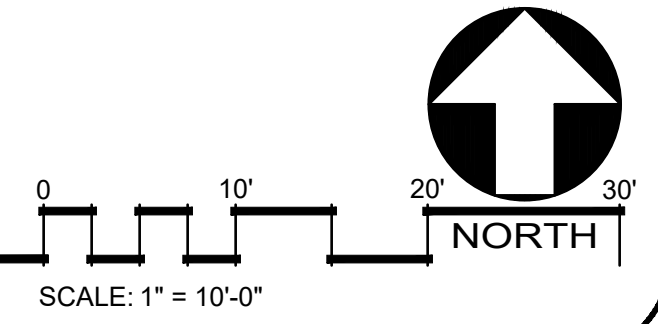


- 1 6.4 (LOW VOLUME)
1" BIO'BASIN - SPRAY
- 3 9.1
1" SHRUB - SPRAY
- 2 6.0 (LOW VOLUME)
1" BIO'BASIN - BUBBLER
- 4 7.2
1" SHRUB - SPRAY

IRRIret-M AC CONTROLLER
6
L1501

IRRIret-M AC CONTROLLER
5
L1501

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By Joseph Cermak at 8/3/2022 3:36:46 PM

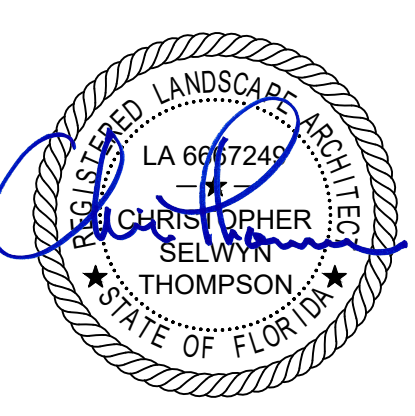


1 IRRIGATION PLAN
LI101

KID MASON CENTER
RENOVATION
LANDSCAPE PLAN



Parks & Recreation
CITY OF TAMPA
Planning and Design
3402 W. Columbus Drive
Tampa, FL 33607



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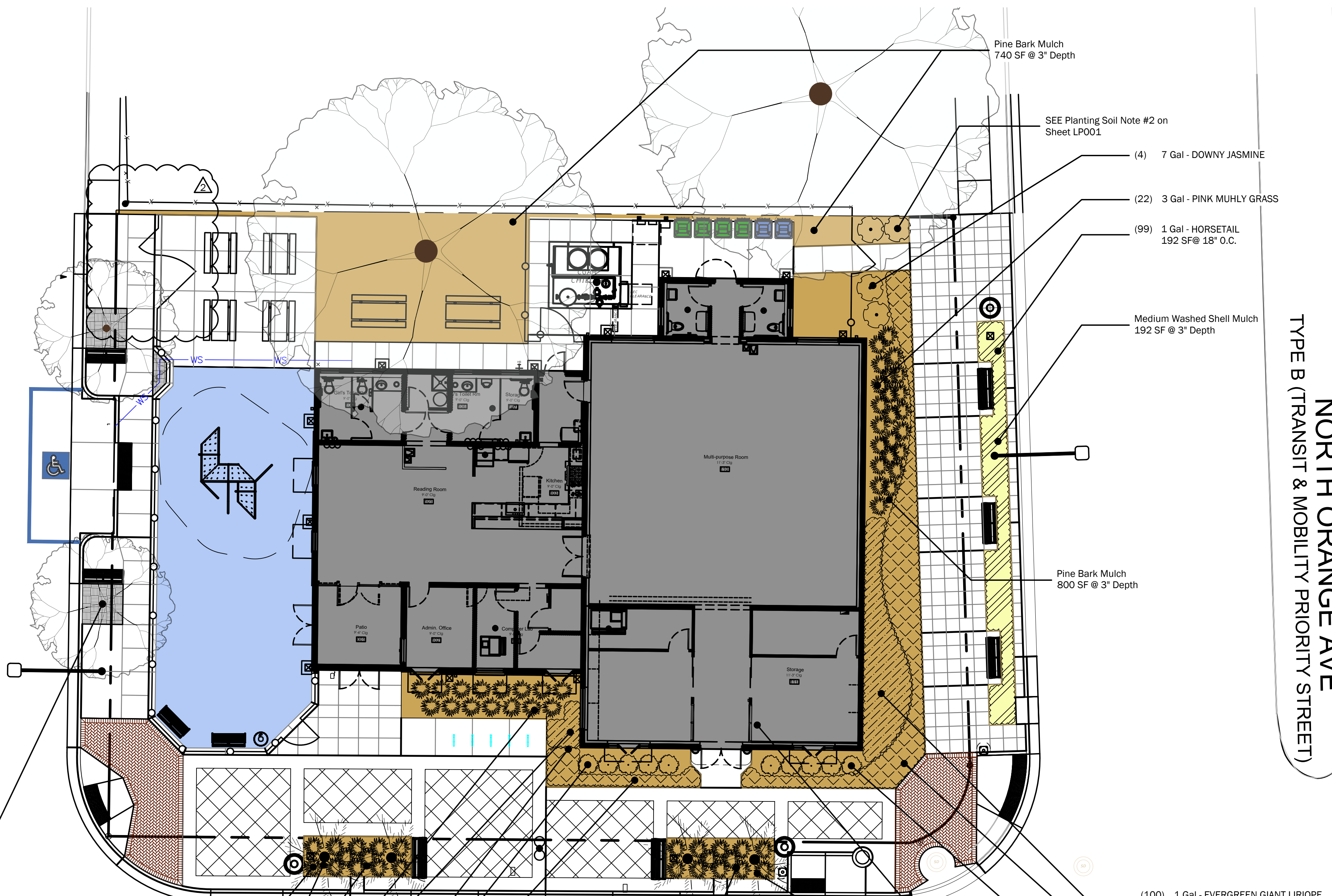
TYPE C (STANDARD PEDESTRIAN & SERVICE STREET)

NORTH JEFFERSON STREET

NORTH ORANGE AVE
TYPE B (TRANSIT & MOBILITY PRIORITY STREET)

EAST HARRISON AVENUE
TYPE A (SPECIAL PEDESTRIAN STREET)

UNMARKED VEHICULAR PARKING



4" CALIPER NATCHEZ CREPE MYRTLE
TYP. OF 2

- Medium Washed Shell Mulch
96 SF @ 3" Depth
- (2) 18' CT - SABAL PALMETTO
- (12) 3 Gal - PINK MUHLY GRASS
- (15) 3 Gal - PINK MUHLY GRASS
- (15) 1 Gal - EVERGREEN GIANT LIRIOPE
28 SF @ 18" O.C.
- Pine Bark Mulch
330 SF @ 3" Depth
- (5) 7 Gal - DWARF LOROPETALUM
- 60 SF ECOTURF

Medium Washed Shell Mulch
96 SF @ 3" Depth

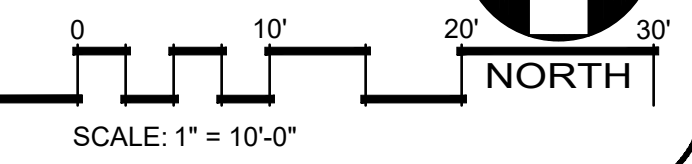
- SEE Planting Soil Note #2 on
Sheet LP001
- (4) 7 Gal - DOWNY JASMINE
- (22) 3 Gal - PINK MUHLY GRASS
- (99) 1 Gal - HORSETAIL
192 SF @ 18" O.C.
- Medium Washed Shell Mulch
192 SF @ 3" Depth

Pine Bark Mulch
800 SF @ 3" Depth

- (100) 1 Gal - EVERGREEN GIANT LIRIOPE
200 SF @ 18" O.C.
- 275 SF ECOTURF
- (5) 7 Gal - DWARF LOROPETALUM

- (2) 18' CT - SABAL PALMETTO
- (12) 3 Gal - PINK MUHLY GRASS

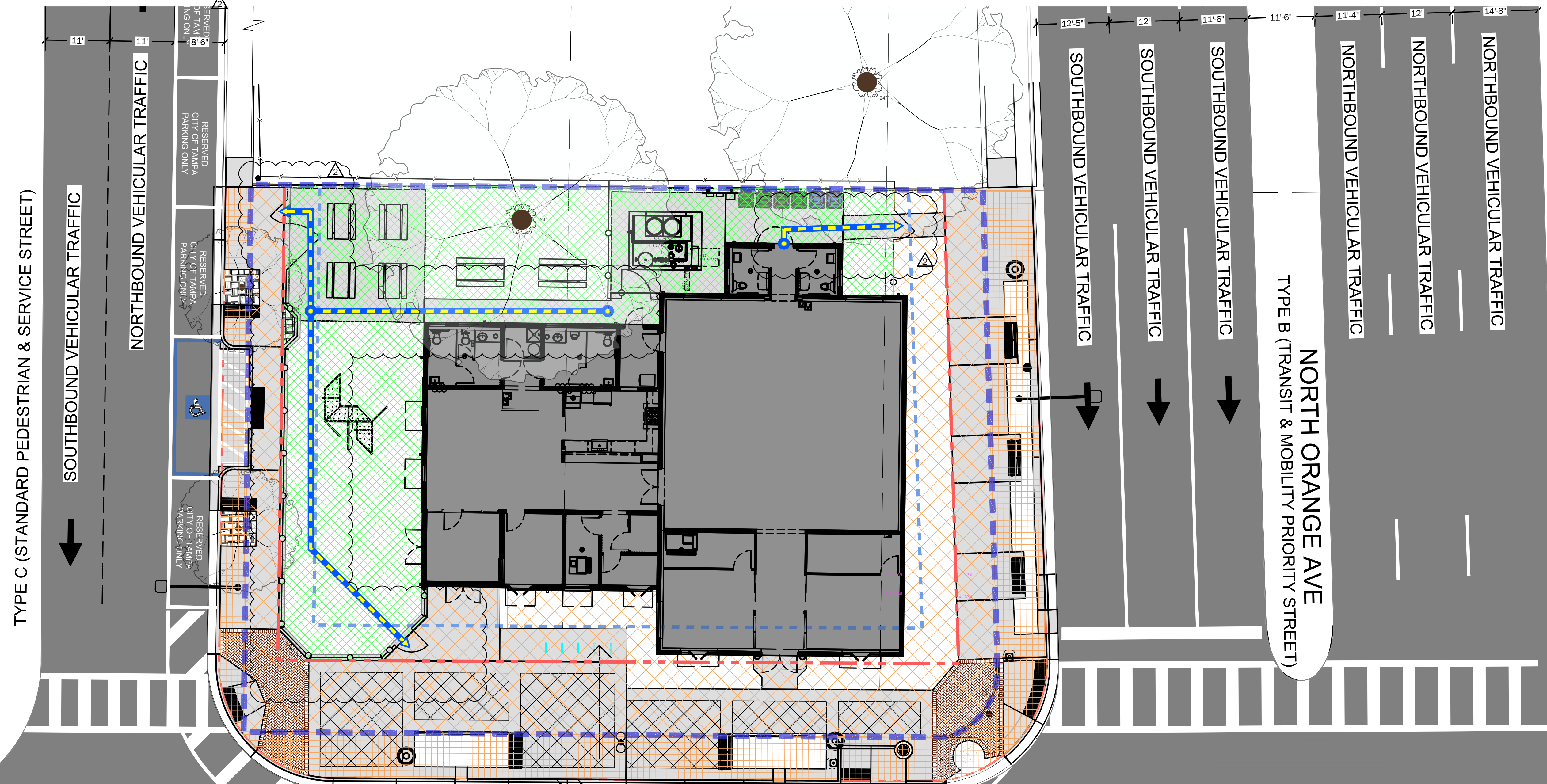
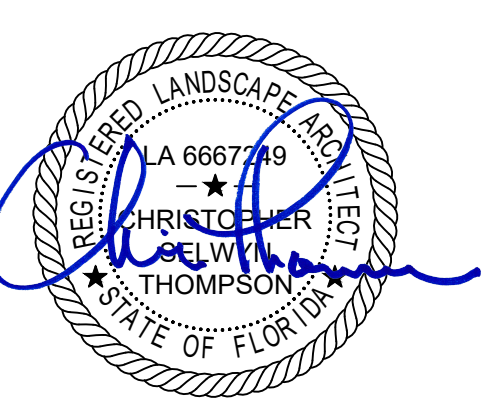
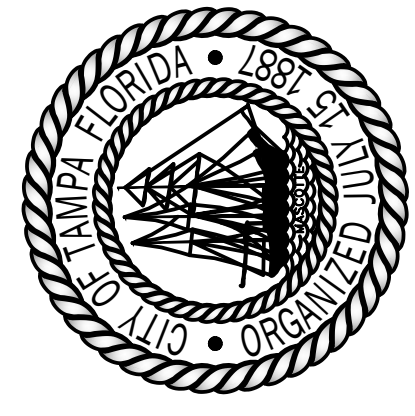
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1 LANDSCAPE PLAN
LP101

City of Tampa
PLANNING AND DEVELOPMENT
URBAN DESIGN APPROVAL
Signed: Andy Mikulski Date: 8/8/2022
Any changes to these drawings must be approved by the Planning & Urban Design Division.
Development Design Review only, relative to Overlay District Design Standards. This approval does NOT serve as an all-inclusive approval for the City of Tampa all departments and utilities.
REVIEWED FOR CODE COMPLIANCE



Open Space Calculations

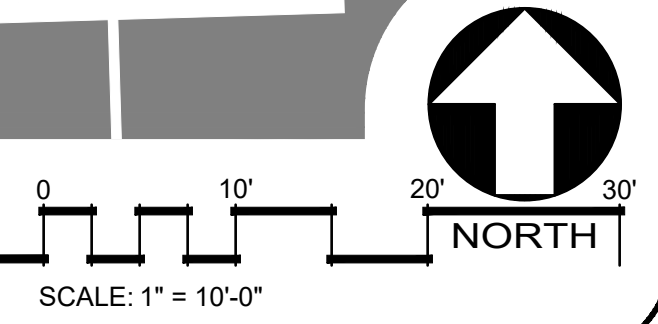
	Total Open Space		Public Open Space	
Required	10% of Site Area	1173 SF	30% of Open Space	2079 SF
Provided	61% of Site Area	7159 SF	52.5% of Open Space	3781 SF

Legend

- Existing Property Line
- Public Realm Zone Line
- Build To Zone Line
- Public Open Space - Parcel
- Public Open Space - Right-of-Way
- Open Space
- Path of Egress Travel (Accessible Route)

City of Tampa
PLANNING AND DEVELOPMENT
URBAN DESIGN APPROVAL
Signed: Andy Mikulski Date: 8/8/2022
Any changes to these drawings must be approved by the Planning & Urban Design Division.
Note: This Approval specifically pertains to Development Design Review only, relative to Overlay District Design Standards. This approval does NOT serve as an all-inclusive approval for the City of Tampa (all departments) as a whole.
REVIEWED FOR CODE COMPLIANCE

1 OPEN SPACE PLAN
LK101



KID MASON CENTER RENOVATION TREE REMOVAL PLAN



Parks & Recreation
CITY OF TAMPA
Planning and Design
3402 W. Columbus Drive
Tampa, FL 33607

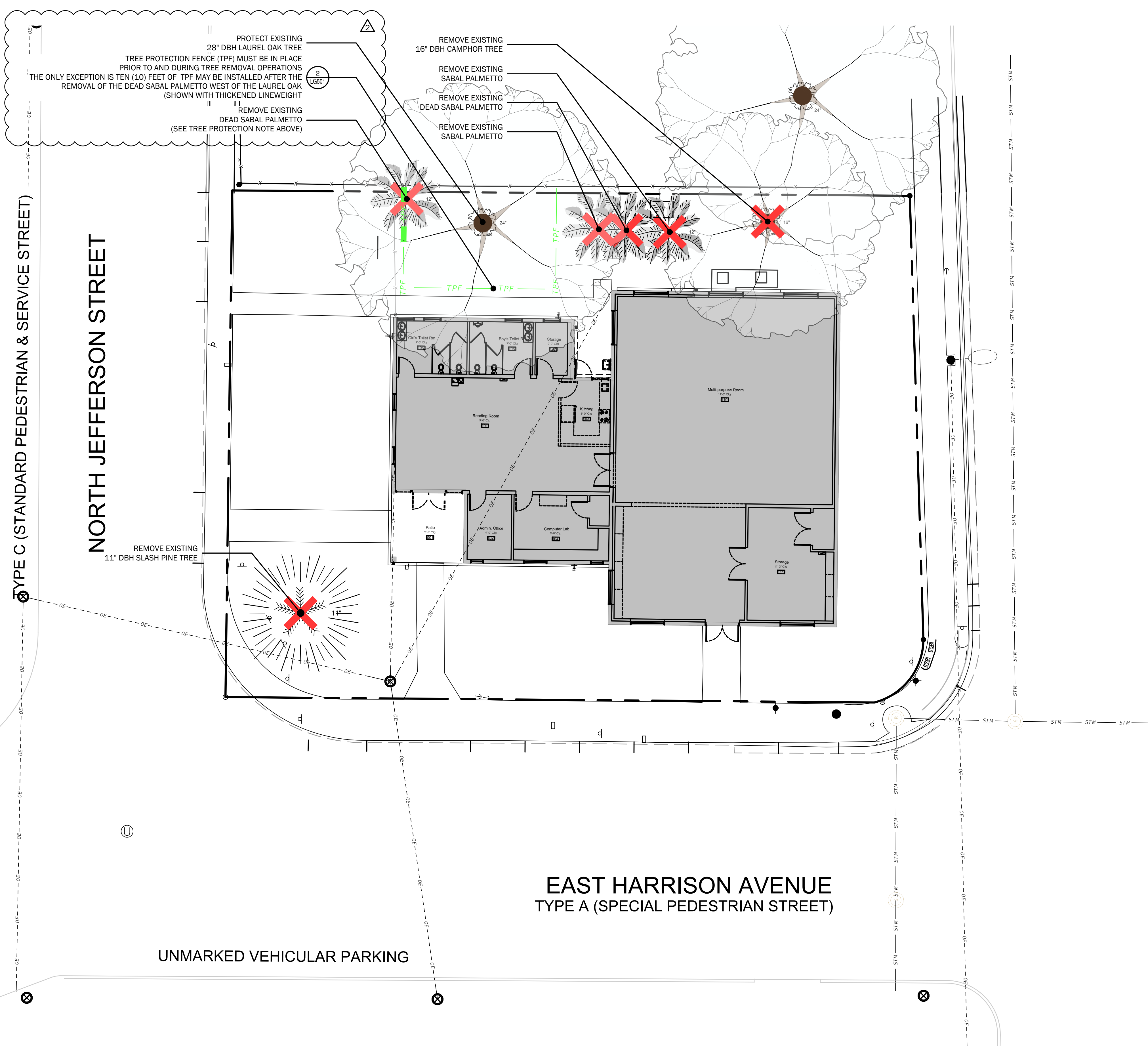


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Date: MARCH 9, 2022
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of 45 Sheets

TABLE 284.4.1-A: TREE RETENTION-MITIGATION EQUIVALENCY TABLES BY TREE TYPE [6]

TYPE 1: TALL & WIDE		
Trees Retained	# of trees	Total Credits
Diameter (inches) / Dripline (feet)		
5" to 10" (x1 credit)	0	0
11" to 20" (x2 credit)	0	0
21" to 25" (x4 credit)	0	0
26" to <32" (x12 credit)	1	12
Credit Subtotal	1	12
Trees Removed	# of trees	Total Debits
Diameter (inches) / Dripline (feet)		
5" to 10" (x1 debit)	0	0
11" to 20" (x2 debit)	2	4
21" to 25" (x3 debit)	0	0
26" to <32" (x4 debit)	0	0
Debit Subtotal	2	4
Type 1: Total Mitigation Trees Required: No Mitigation Required		
TYPE 2: TALL & NARROW		
Trees Retained	# of trees	Total Credits
Diameter (inches) / Dripline (feet)		
5" to 17" (x1 credit)	0	0
18" to 29" (x2 credit)	0	0
30" to <32" (x3 credit)	0	0
Credit Subtotal	0	0
Trees Removed	# of trees	Total Debits
Diameter (inches) / Dripline (feet)		
5" to 17" (x1 debit)	0	0
18" to 29" (x2 debit)	0	0
30" to <32" (x3 debit)	0	0
Debit Subtotal	0	0
Type 2: Total Mitigation Trees Required: No Mitigation Required		
TYPE 3: SHORT & WIDE/MULTI-STEM		
Trees Retained	# of trees	Total Credits
Diameter (inches) / Dripline (feet)		
5" to 7" (x1 credit)	0	0
8" to 17" (x2 credit)	0	0
18" to 29" (x3 credit)	0	0
30" to <32" (x12 credit)	0	0
Credit Subtotal	0	0
Trees Removed	# of trees	Total Debits
Diameter (inches) / Dripline (feet)		
5" to 7" (x1 debit)	0	0
8" to 17" (x2 debit)	0	0
18" to 29" (x3 debit)	0	0
30" to <32" (x4 debit)	0	0
Debit Subtotal	0	0
Type 3: Total Mitigation Trees Required: No Mitigation Required		
PALMS		
Trees Retained	# of trees	Total Credits
Palms with ≥6' clear trunk	0	0
Trees Removed	# of trees	Total Debits
Palms with ≥6' clear trunk	2	2
Palm: Total Mitigation Trees Required:		2

NOTES:
 [1] All grand tree species calculated at "moderate" growth rate and using 10" caliper tree as standard 5-Year Parity (i.e. 154 SF replacement Crown Footprint per 2.5" caliper tree planted).
 [2] Species Rating % standardized to mid-point of range. SR ["Species Rating"]: Rating denotes comparative value by species, based on suitability & performance as 'urban trees', using
 FL ISA's Tree Species Ratings (2016); recorded as PERCENT. If SR not available, use CR value (see Table 284.3.2-A City of Tampa Tree Matrix).
 [3] CR ["Condition Rating"]: Rating using Tree Hazard Evaluation Method (Matheny and Clark 1994); recorded as a PERCENT ['A'=100%, 'B'=90%, 'C'=75%, 'D'=40%, 'F'=0%].
 [4] Refer to Table 284.4.1-A1 Range of Species Ratings below.
 [5] Credit for grand tree retention is calculated in the same manner as debits.
 [6] All mitigation trees measuring less than 5" shall be factored into this table as a 5" tree.
 Reference: "ft" means "feet;" "in" means "inches;" "SF" means "square feet;" "cal" means "caliper."



PROTECT EXISTING 28" DBH LAUREL OAK TREE
 TREE PROTECTION FENCE (TPF) MUST BE IN PLACE PRIOR TO AND DURING TREE REMOVAL OPERATIONS THE ONLY EXCEPTION IS TEN (10) FEET OF TPF MAY BE INSTALLED AFTER THE REMOVAL OF THE DEAD SABAL PALMETTO WEST OF THE LAUREL OAK (SHOWN WITH THICKENED LINEWEIGHT)
 REMOVE EXISTING DEAD SABAL PALMETTO (SEE TREE PROTECTION NOTE ABOVE)

REMOVE EXISTING 16" DBH CAMPHOR TREE
 REMOVE EXISTING SABAL PALMETTO
 REMOVE EXISTING DEAD SABAL PALMETTO
 REMOVE EXISTING SABAL PALMETTO

TYPE C (STANDARD PEDESTRIAN & SERVICE STREET)

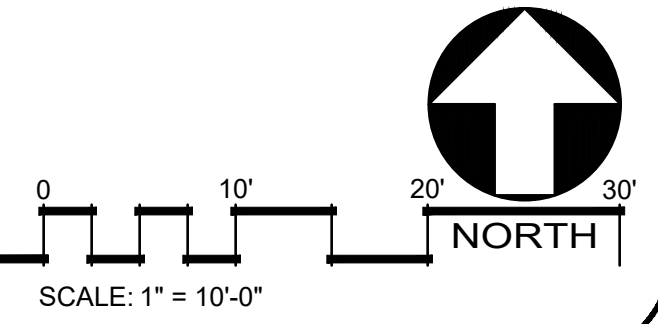
NORTH JEFFERSON STREET

REMOVE EXISTING 11" DBH SLASH PINE TREE

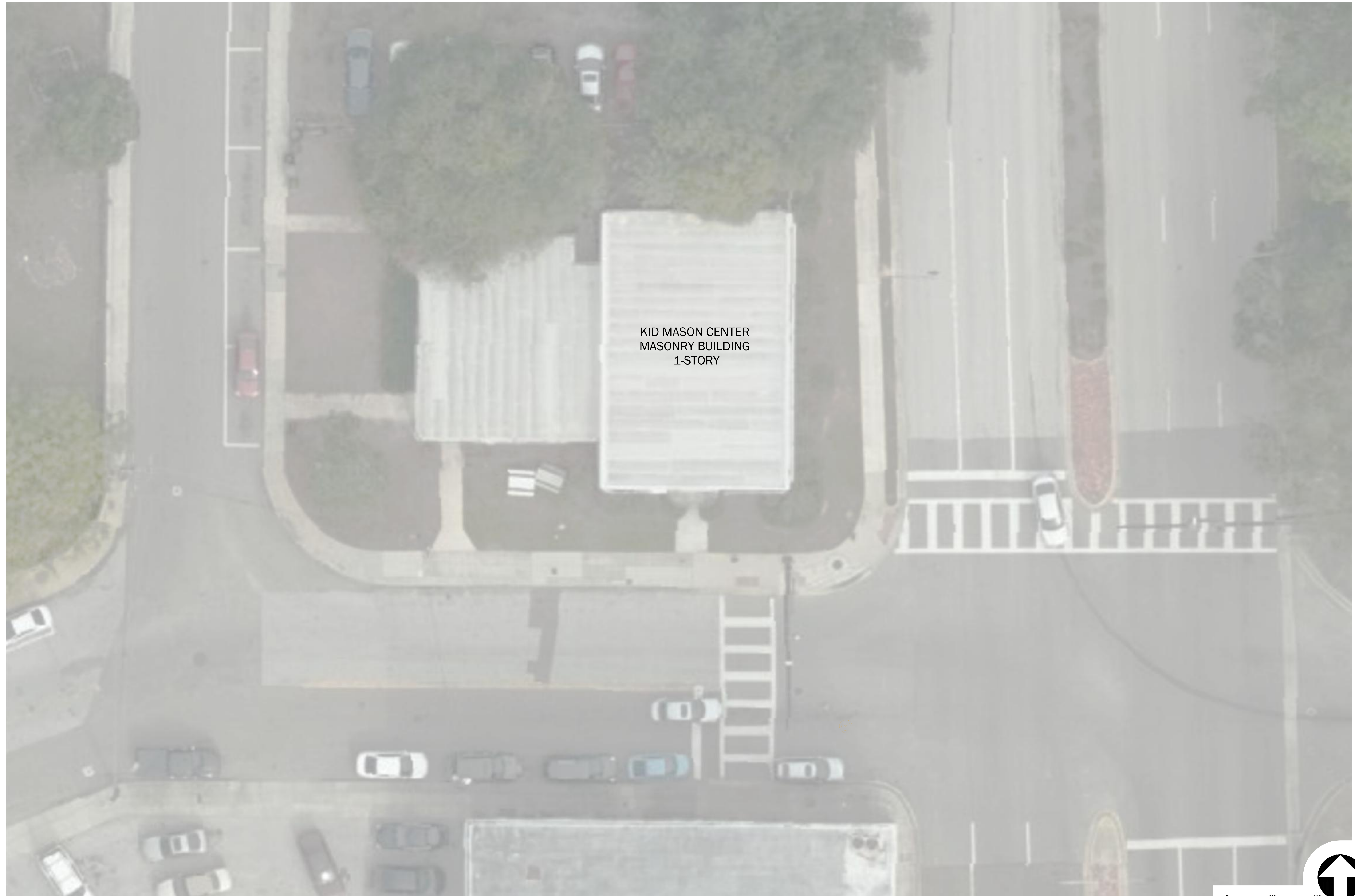
EAST HARRISON AVENUE
 TYPE A (SPECIAL PEDESTRIAN STREET)

UNMARKED VEHICULAR PARKING

1 TREE REMOVAL PLAN
 LD101



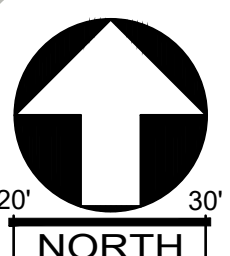
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1 AERIAL OVERLAY PLAN

LX101

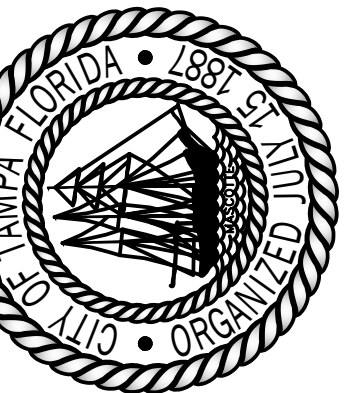
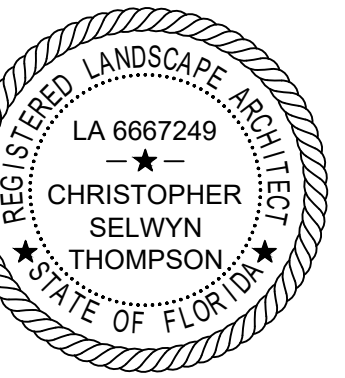
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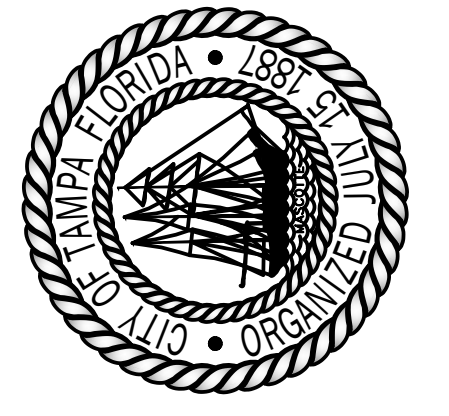
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KID MASON CENTER
RENOVATION
AERIAL OVERLAY PLAN

City of Tampa
CONSTRUCTION SERVICES DIVISION
PLAN APPROVAL
BLD-22-0491693 9/6/2022
THIS SET OF PLANS MUST BE KEPT ON THE JOB AT ALL TIMES. NO REVISIONS OR CHANGES TO THE PLANS SHALL BE MADE WITHOUT WRITTEN APPROVAL FROM THE CITY OF TAMPA CONSTRUCTION SERVICES DIVISION. THE SIGNING OF THIS INSTRUMENT IS HEREBY TO PERMIT OR APPROVE THE VIOLATION OF ANY CITY OR STATE CODES REQUIRED FOR CODE COMPLIANCE.

KID MASON CENTER
RENOVATION
EXISTING UTILITY PLAN



Parks & Recreation
CITY OF TAMPA
Planning and Design
3402 W. Columbus Drive
Tampa, FL 33607



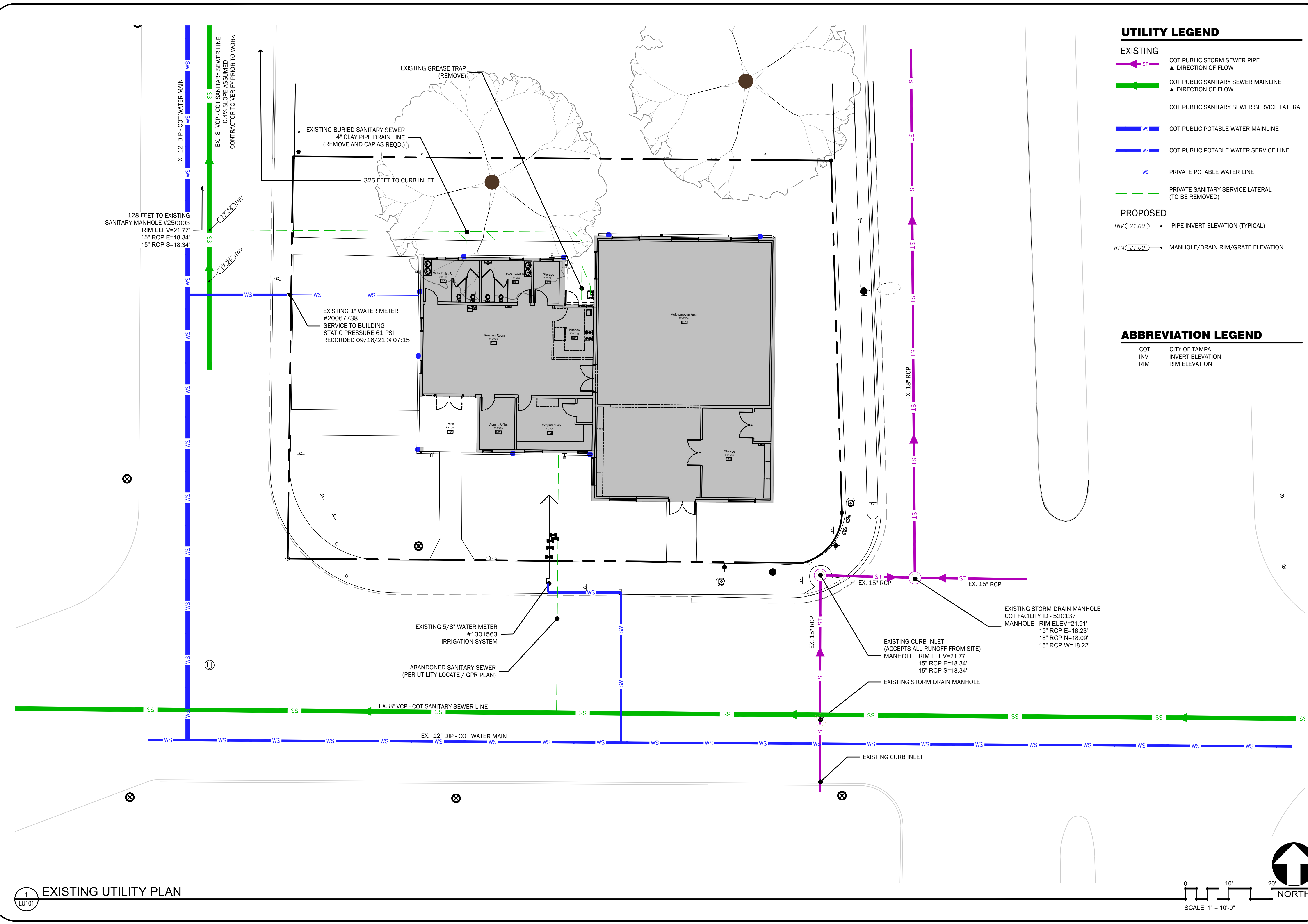
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UTILITY LEGEND

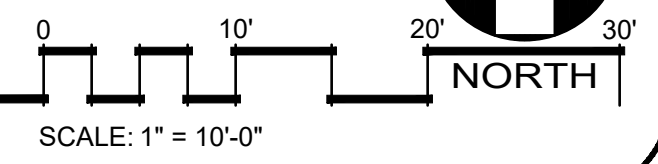
- EXISTING**
- ST COT PUBLIC STORM SEWER PIPE
▲ DIRECTION OF FLOW
 - SS COT PUBLIC SANITARY SEWER MAINLINE
▲ DIRECTION OF FLOW
 - SS COT PUBLIC SANITARY SEWER SERVICE LATERAL
 - WS COT PUBLIC POTABLE WATER MAINLINE
 - WS COT PUBLIC POTABLE WATER SERVICE LINE
 - WS PRIVATE POTABLE WATER LINE
 - SS PRIVATE SANITARY SERVICE LATERAL
(TO BE REMOVED)
- PROPOSED**
- INV (21.00) PIPE INVERT ELEVATION (TYPICAL)
 - RIM (21.00) MANHOLE/RAIN RIM/GRATE ELEVATION

ABBREVIATION LEGEND

- COT CITY OF TAMPA
- INV INVERT ELEVATION
- RIM RIM ELEVATION




1 EXISTING UTILITY PLAN



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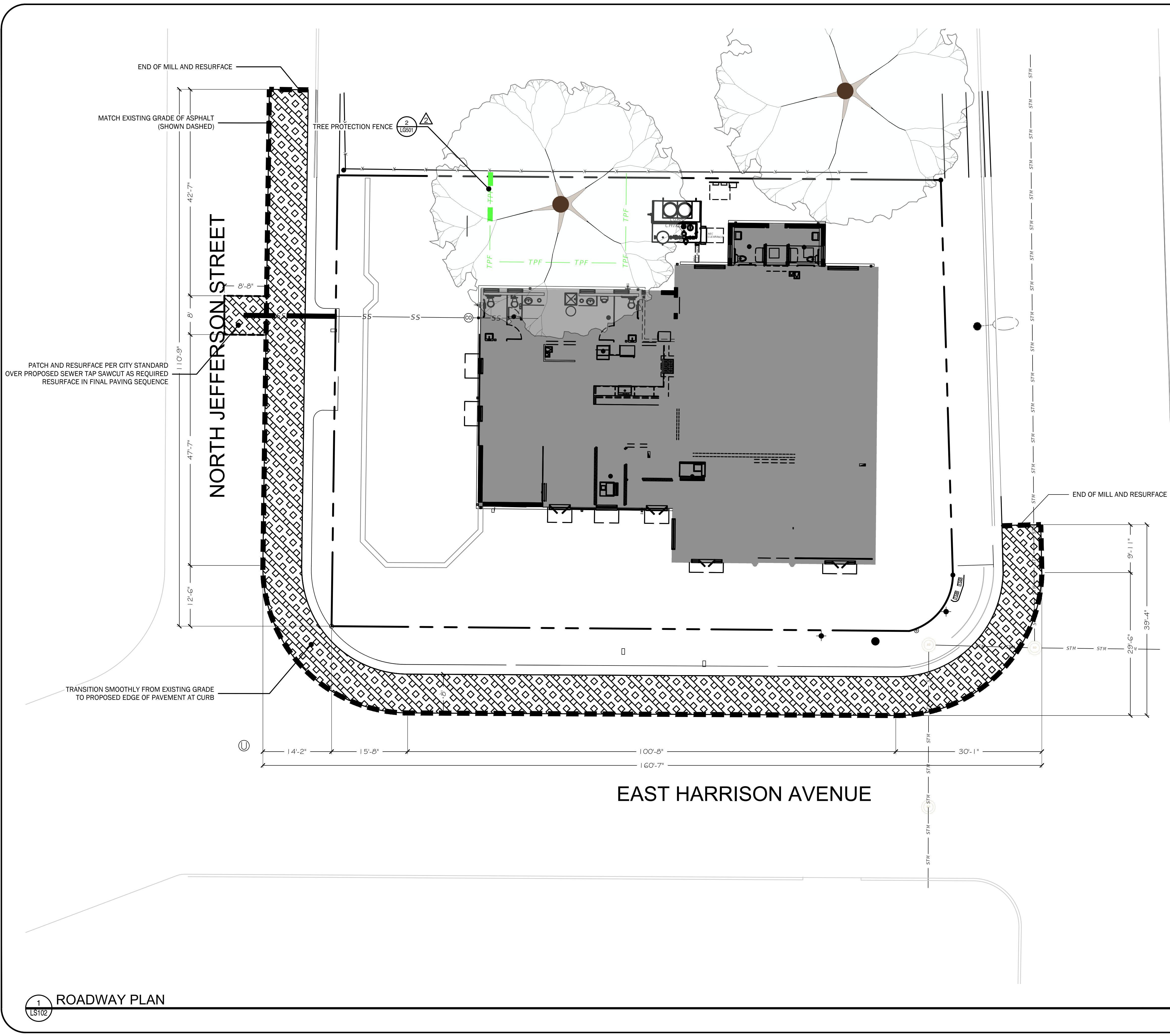
Roadway Paving

2,390 SF
266 SY  MILL EXISTING ASPHALT PAVEMENT (1.5" AVG. DEPTH) FRICTION COURSE FC-12.5 (TRAFFIC C) (1.5") (PG 76-22)

ROADWAY PAVING NOTES

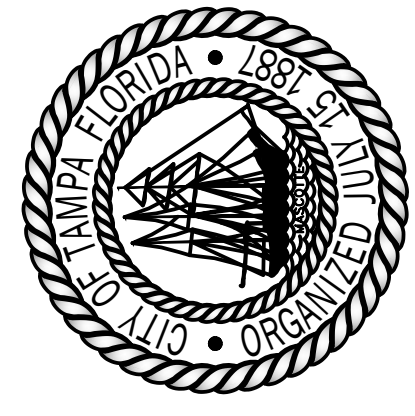
GOVERNING STANDARD PLANS:
FLORIDA DEPARTMENT OF TRANSPORTATION, FY2021-22 Standard Plans for Road Construction AT THE FOLLOWING WEBSITE: <https://www.fl.dot.gov/design/standardplans/current/default.shtm>

GOVERNING STANDARD SPECIFICATIONS:
CITY OF TAMPA AND FLORIDA DEPARTMENT OF TRANSPORTATION, JULY 2021 DIVISION II AND III AT THE FOLLOWING WEBSITE: <http://www.fl.dot.gov/programmanagement/Implemented/SpecBooks>



KID MASON CENTER
RENOVATION
ROADWAY PLAN

PROJECT SHEET



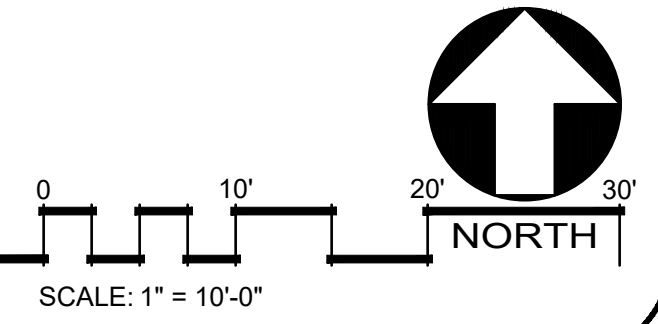
Parks & Recreation
CITY OF TAMPA
Planning and Design
3402 W. Columbus Drive
Tampa, FL 33607



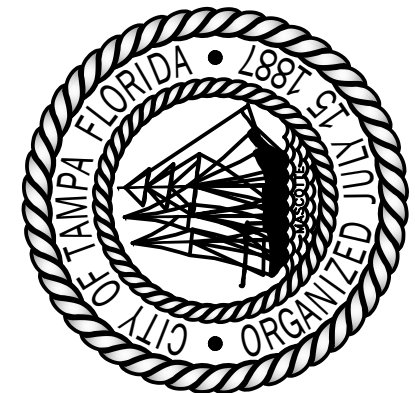
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1 ROADWAY PLAN
LS102



KID MASON CENTER RENOVATION
OVERALL STREETScape PLAN



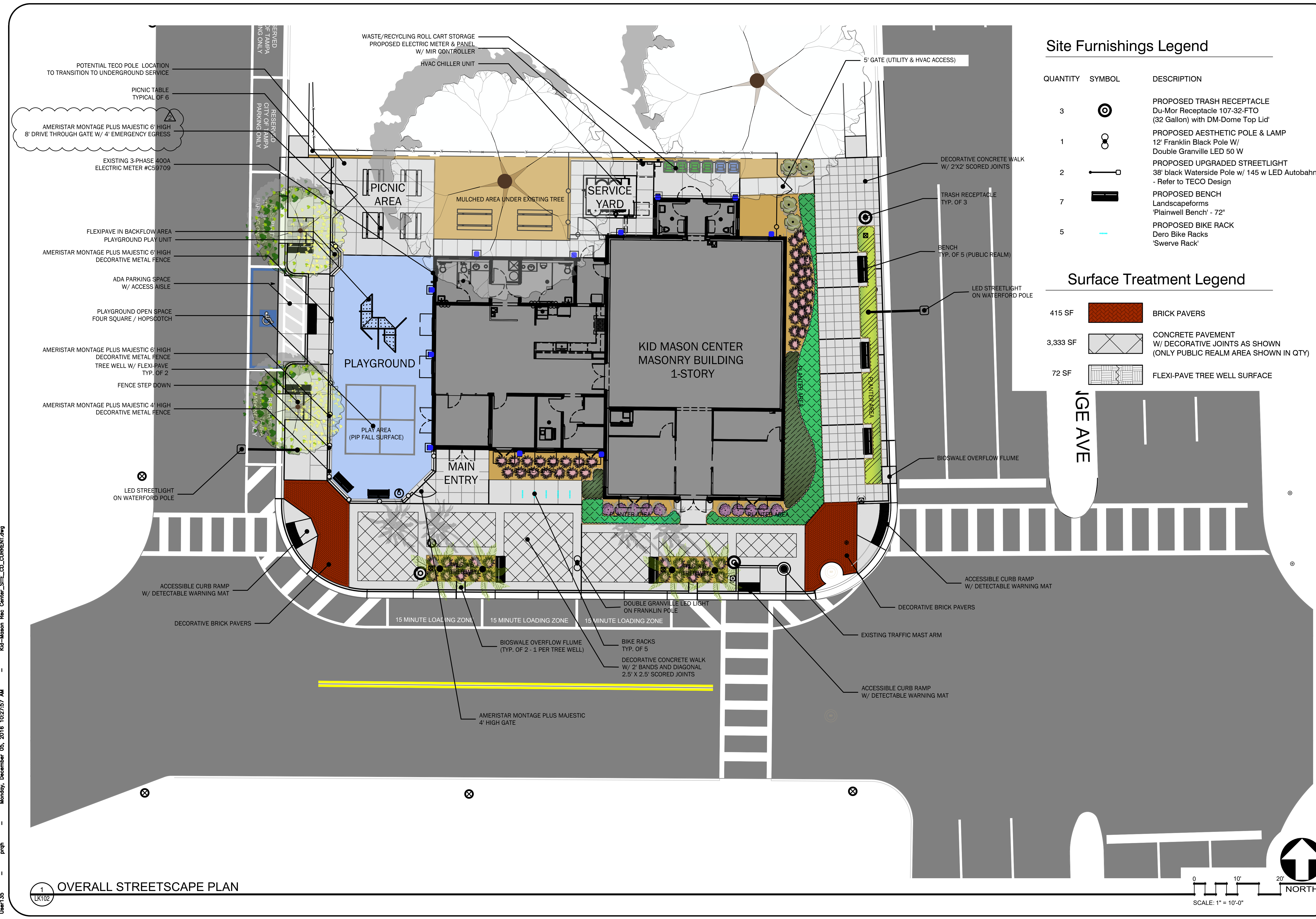
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Site Furnishings Legend

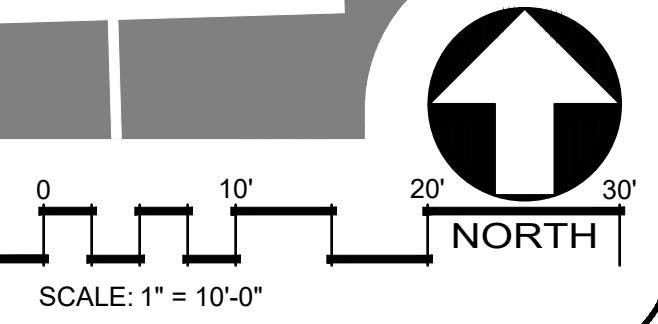
QUANTITY	SYMBOL	DESCRIPTION
3		PROPOSED TRASH RECEPTACLE Du-Mor Receptacle 107-32-FTO (32 Gallon) with DM-Dome Top Lid'
1		PROPOSED AESTHETIC POLE & LAMP 12' Franklin Black Pole W/ Double Granville LED 50 W
2		PROPOSED UPGRADED STREETLIGHT 38' black Waterside Pole w/ 145 w LED Autobahn - Refer to TECO Design
7		PROPOSED BENCH Landscapeforms 'Plainwell Bench' - 72"
5		PROPOSED BIKE RACK Dero Bike Racks 'Swerve Rack'

Surface Treatment Legend

415 SF		BRICK PAVERS
3,333 SF		CONCRETE PAVEMENT W/ DECORATIVE JOINTS AS SHOWN (ONLY PUBLIC REALM AREA SHOWN IN QTY)
72 SF		FLEXI-PAVE TREE WELL SURFACE



1 OVERALL STREETScape PLAN



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KID MASON CENTER RENOVATION
EROSION CONTROL PLAN
PROJECT SHEET



Parks & Recreation
CITY OF TAMPA
Planning and Design
3402 W. Columbus Drive
Tampa, FL 33607



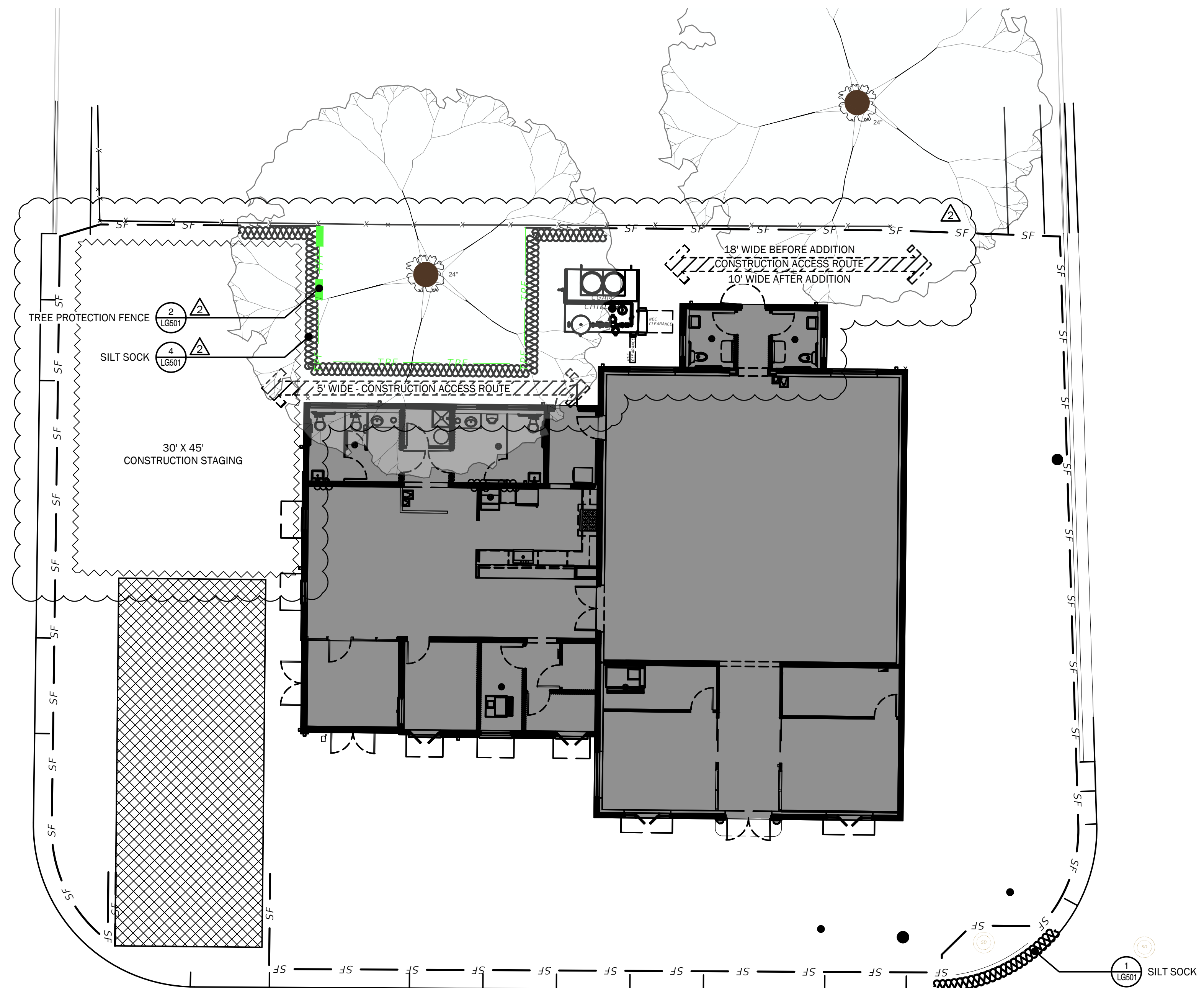
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EROSION CONTROL LEGEND

- TPF TREE PROTECTION FENCE
- SF SILT FENCE
- SILT SOCK
- CONSTRUCTION ENTRANCE
- CONSTRUCTION ACCESS ROUTE
- CONSTRUCTION STAGING AREA

NORTH JEFFERSON STREET

NORTH ORANGE AVE



STORMWATER POLLUTION PREVENTION PLAN NOTES

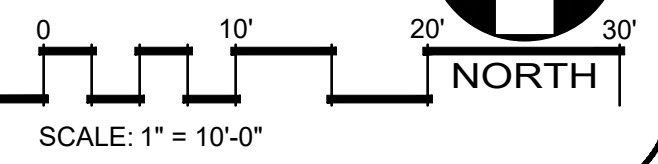
- A COPY OF THE STORMWATER POLLUTION PREVENTION PLAN SHALL BE KEPT AT THE PROJECT SITE AT ALL TIMES.
- THE CONSTRUCTION WILL BE STAGED IN PHASES WHENEVER POSSIBLE TO MINIMIZE SOIL LOSS AND CONTROL EROSION.
- PROTECT STORMWATER INLETS IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES TO MINIMIZE SILTATION. SILT BARRIERS SHALL REMAIN IN PLACE UNTIL SITE STABILIZATION IS COMPLETE. EXISTING AND PROPOSED INLET GRATES SHOULD REMAIN WRAPPED UNTIL THE COMPLETION OF THE PROJECT.
- SILTATION ACCUMULATIONS GREATER THAN THE LESSER OF 12 INCHES OR ONE-HALF OF THE DEPTH OF THE SILTATION CONTROL BARRIER OR CONTROL DEVICES SHALL BE IMMEDIATELY REMOVED AND PLACED IN UPLAND AREAS. ALL SILTATION BARRIERS SHALL THEN BE RESTORED TO THEIR ORIGINAL CONDITIONS.
- ALL SILTATION AND EROSION CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED AT A MINIMUM OF ONCE PER WEEK OR AFTER ANY 1/2" OR GREATER RAINFALL EVENT. THE CONTRACTOR SHALL MAINTAIN RECORDS OF ALL MAINTENANCE AND INSPECTIONS, ON SITE, UNTIL CONSTRUCTION IS COMPLETE. COPIES SHALL BE FURNISHED TO THE ENGINEER AND/OR OWNER, UPON REQUEST.
- THE CONTRACTOR SHALL IMPLEMENT OTHER BEST MANAGEMENT PRACTICES AS DIRECTED BY THE ENGINEER OF RECORD OR OTHER REGULATORY AGENCIES.
- THE CONTRACTOR SHALL ABIDE BY ALL APPLICABLE REQUIREMENTS AND CONDITIONS OF THE SOUTHWEST FLORIDA WATER MANAGEMENT DISTRICT (SWFWMD) PERMIT AND HAVE A COPY ON SITE.
- CONTRACTOR SHALL SPRINKLE OR OTHERWISE APPLY WATER TO AFFECTED CONSTRUCTION AREAS AS NEEDED TO CONTROL BOTH SIGNIFICANT WIND EROSION AND FUGITIVE DUST.
- THE CONTRACTOR SHALL DIRECT ONSITE RUNOFF TO THE WET DETENTION (WITHOUT FILTRATION TREATMENT) STORMWATER MANAGEMENT SYSTEM DURING CONSTRUCTION.
- AREAS THAT ARE DESIGNATED FOR PERMANENT STORMWATER INFILTRATION TREATMENT SYSTEMS (E.G., BIOBASIN) SHOULD NOT BE USED FOR TEMPORARY SEDIMENT BASINS UNLESS APPROPRIATE MEASURES ARE TAKEN TO ASSURE REMOVAL OF ACCUMULATED FINE SEDIMENTS, WHICH MAY CAUSE PREMATURE CLOGGING AND LOSS OF INFILTRATION CAPACITY, AND TO AVOID EXCESSIVE COMPACTION OF SOILS BY CONSTRUCTION MACHINERY OR EQUIPMENT.
- A STABILIZED CONSTRUCTION ENTRANCE WILL BE PROVIDED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS. THE PAVED STREET ADJACENT TO THE SITE ENTRANCE WILL BE SWEEP AS REQUIRED TO REMOVE ANY EXCESS MUD, DIRT OR ROCK TRACKED FROM THE SITE. DUMP TRUCKS HAULING MATERIAL FROM THE CONSTRUCTION SITE WILL BE COVERED WITH A TARPULIN.

DEWATERING NOTES

- DEWATERING WILL OCCUR, AS REQUIRED, FOR ALL EXCAVATION ACTIVITY INCLUDING, BUT NOT LIMITED TO, STORM SEWERS, SANITARY SEWERS, WATER LINES AND OTHER UTILITIES.
- ALL CONSTRUCTION DEWATERING WILL BE CONTAINED ONSITE, AT SPECIFIED LOCATIONS, AND EITHER DIRECTED TO A TEMPORARY SEDIMENTATION BASIN OR ALLOWED TO INFILTRATE THE SOIL. SOUTHWEST FLORIDA WATER MANAGEMENT DISTRICT OVERSEES THE REQUIREMENTS OF DEWATERING PERMITTING AND METHODS. IF IT IS NECESSARY TO DISCHARGE DEWATERING EFFLUENT OFF SITE, ALL DEWATERING EFFLUENT SHALL BE ROUTED TO A TEMPORARY SEDIMENT SUMP PRIOR TO DISCHARGE TO THE WETLANDS OR OFFSITE. THE GENERAL PROCESS OF THE DEWATERING SYSTEM SHALL BE ADHERED TO DURING CONSTRUCTION, ALTHOUGH THE ACTUAL LAYOUT OF THE SYSTEM MAY BE CONSTRUCTED AS DICTATED BY FIELD CONDITIONS.
- THE DEWATERING SYSTEM MUST USE A PUMP AND PIPING THAT IS LESS THAN 6 INCHES IN DIAMETER AND OPERATE LESS THAN A TOTAL OF SIX MONTHS. ANY DEVIATION FROM THIS REQUIREMENT SHALL REQUIRE A WATER USE PERMIT. THE COST OF A WATER USE PERMIT AND ASSOCIATED MATERIALS SHALL BE BORNE BY THE CONTRACTOR.

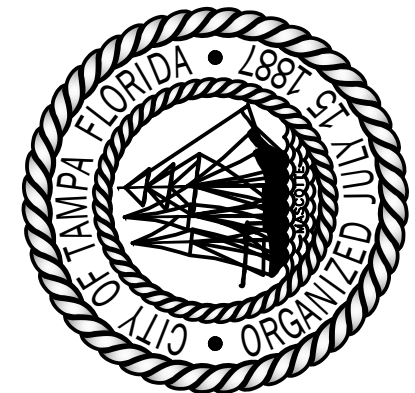
1 EROSION CONTROL PLAN

1 LG102

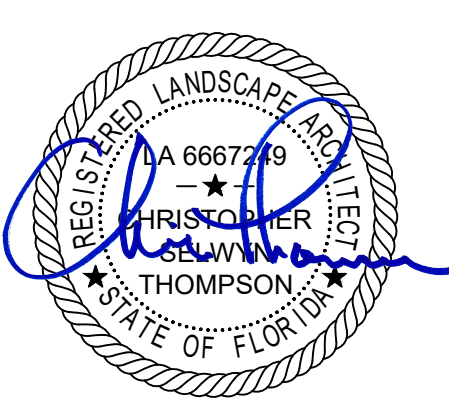


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KID MASON CENTER
RENOVATION
PROPOSED UTILITY PLAN



Parks & Recreation
CITY OF TAMPA
Planning and Design
3402 W. Columbus Drive
Tampa, FL 33607



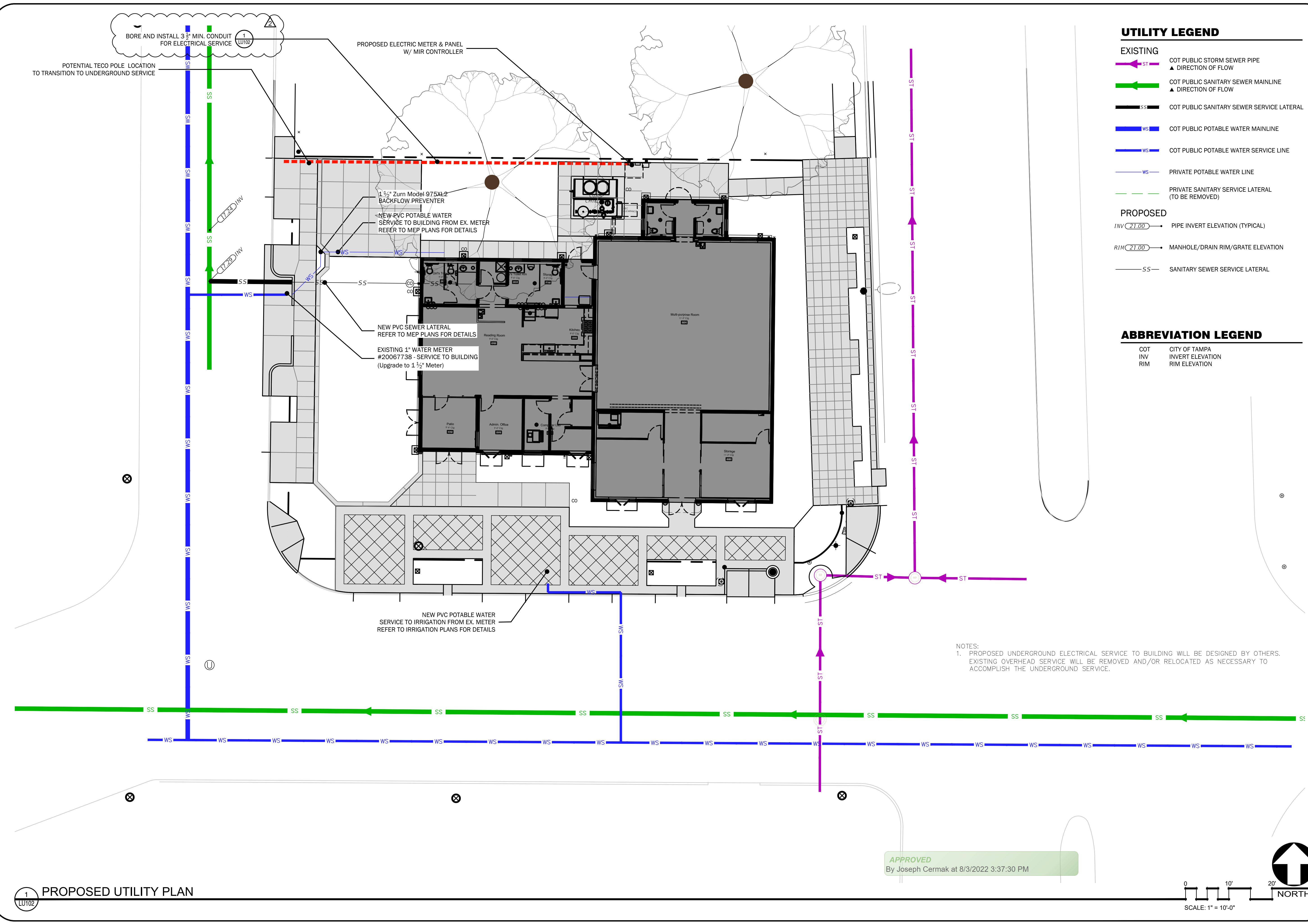
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Approved:	CT
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UTILITY LEGEND

- EXISTING**
- ST COT PUBLIC STORM SEWER PIPE
▲ DIRECTION OF FLOW
 - SS COT PUBLIC SANITARY SEWER MAINLINE
▲ DIRECTION OF FLOW
 - SS COT PUBLIC SANITARY SEWER SERVICE LATERAL
 - WS COT PUBLIC POTABLE WATER MAINLINE
 - WS COT PUBLIC POTABLE WATER SERVICE LINE
 - WS PRIVATE POTABLE WATER LINE
 - SS PRIVATE SANITARY SERVICE LATERAL (TO BE REMOVED)
- PROPOSED**
- INV (21.00) PIPE INVERT ELEVATION (TYPICAL)
 - RIM (21.00) MANHOLE/DRAIN RIM/GRATE ELEVATION
 - SS SANITARY SEWER SERVICE LATERAL

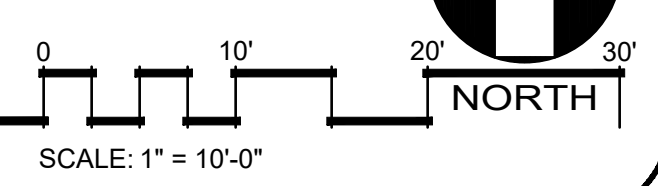
ABBREVIATION LEGEND

- COT CITY OF TAMPA
- INV INVERT ELEVATION
- RIM RIM ELEVATION



NOTES:
1. PROPOSED UNDERGROUND ELECTRICAL SERVICE TO BUILDING WILL BE DESIGNED BY OTHERS. EXISTING OVERHEAD SERVICE WILL BE REMOVED AND/OR RELOCATED AS NECESSARY TO ACCOMPLISH THE UNDERGROUND SERVICE.

APPROVED
By Joseph Cermak on 8/3/2022 3:37:30 PM



1
LU102
PROPOSED UTILITY PLAN

TYPE C (STANDARD PEDESTRIAN & SERVICE STREET)

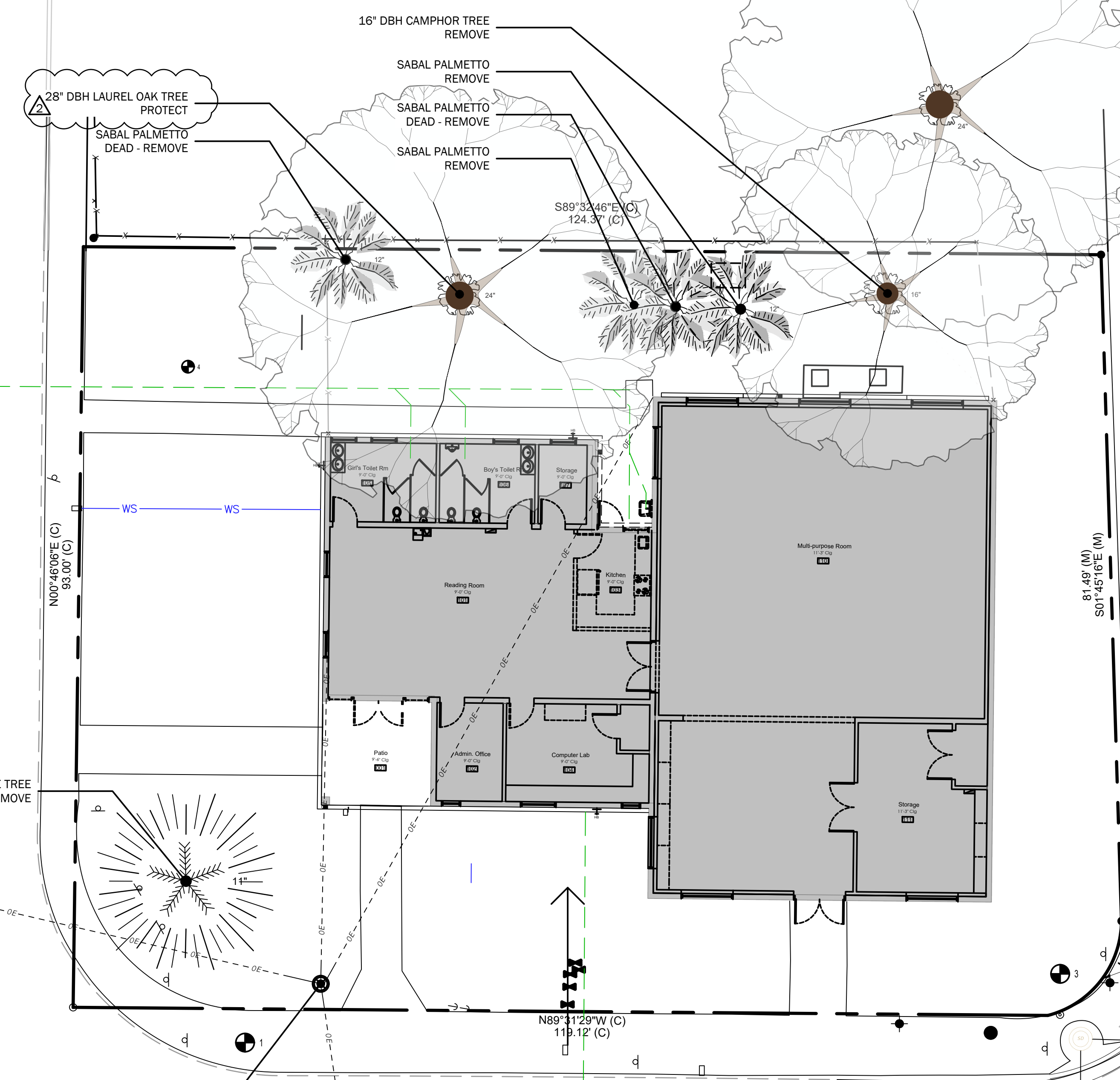
NORTH JEFFERSON STREET

NORTH ORANGE AVE
TYPE B (TRANSIT & MOBILITY PRIORITY STREET)

EAST HARRISON AVENUE
TYPE A (SPECIAL PEDESTRIAN STREET)

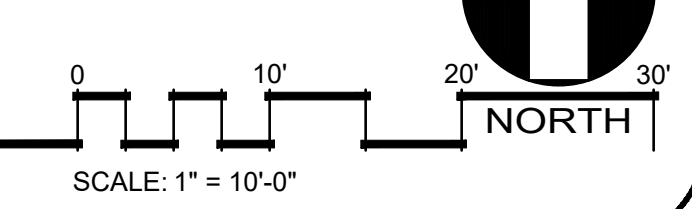
REMOVE EXISTING TECO POLE
(PROPOSED UNDERGROUND ELEC SERVICE)

UNMARKED VEHICULAR PARKING



L=15.73' (C)
CH=N 37° 56' 20" E
14.63' (C)
R=12.00' (C)

1 EXISTING CONDITIONS
LX102



KID MASON CENTER
RENOVATION
EXISTING CONDITIONS



Parks & Recreation
CITY OF TAMPA
Planning and Design
3402 W. Columbus Drive
Tampa, FL 33607



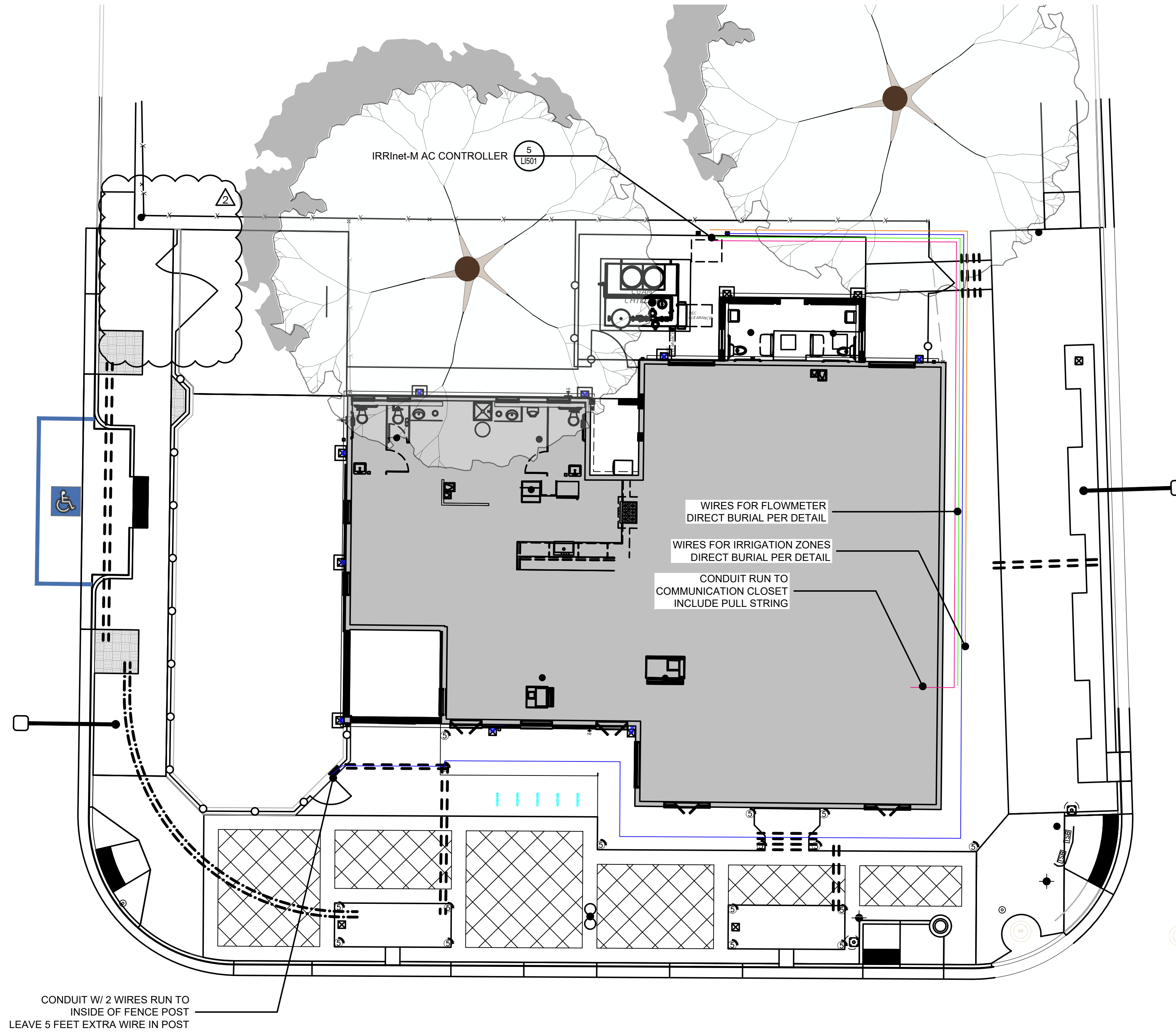
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NORTH JEFFERSON STREET

NORTH ORANGE AVE

EAST HARRISON AVENUE



City of Tampa
CONSTRUCTION SERVICES DIVISION
PLAN APPROVAL
BLD-22-0491693 9/6/2022
THIS SET OF PLANS MUST BE KEPT ON THE JOB AT ALL TIMES

Revisions	Date
1) BLD REV	8/8/22

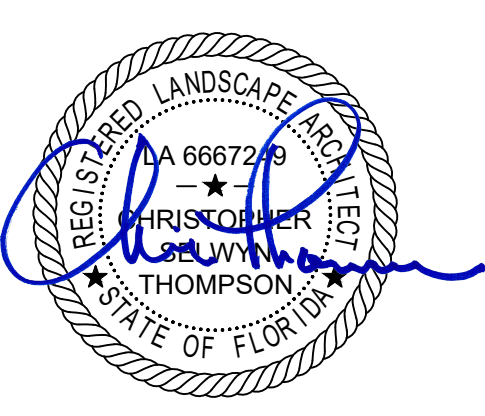
Prepared by: [Signature]
Checked by: [Signature]
Approved by: [Signature]
City of Tampa
Construction Services Division
The stamping of this plan shall be held to permit or approve the violation of any City or State Codes REQUIRED FOR CODE COMPLIANCE

KID MASON CENTER
RENOVATION
IRRIGATION WIRING

PROJECT SHEET

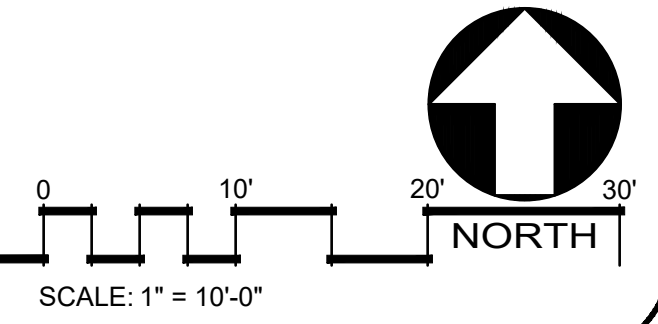


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3402 W. Columbus Drive
Tampa, FL 33607



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1 IRRIGATION WIRING
LI102



KID MASON CENTER
RENOVATION
DEMOLITION PLAN



Parks & Recreation
CITY OF TAMPA
Planning and Design
3402 W. Columbus Drive
Tampa, FL 33607

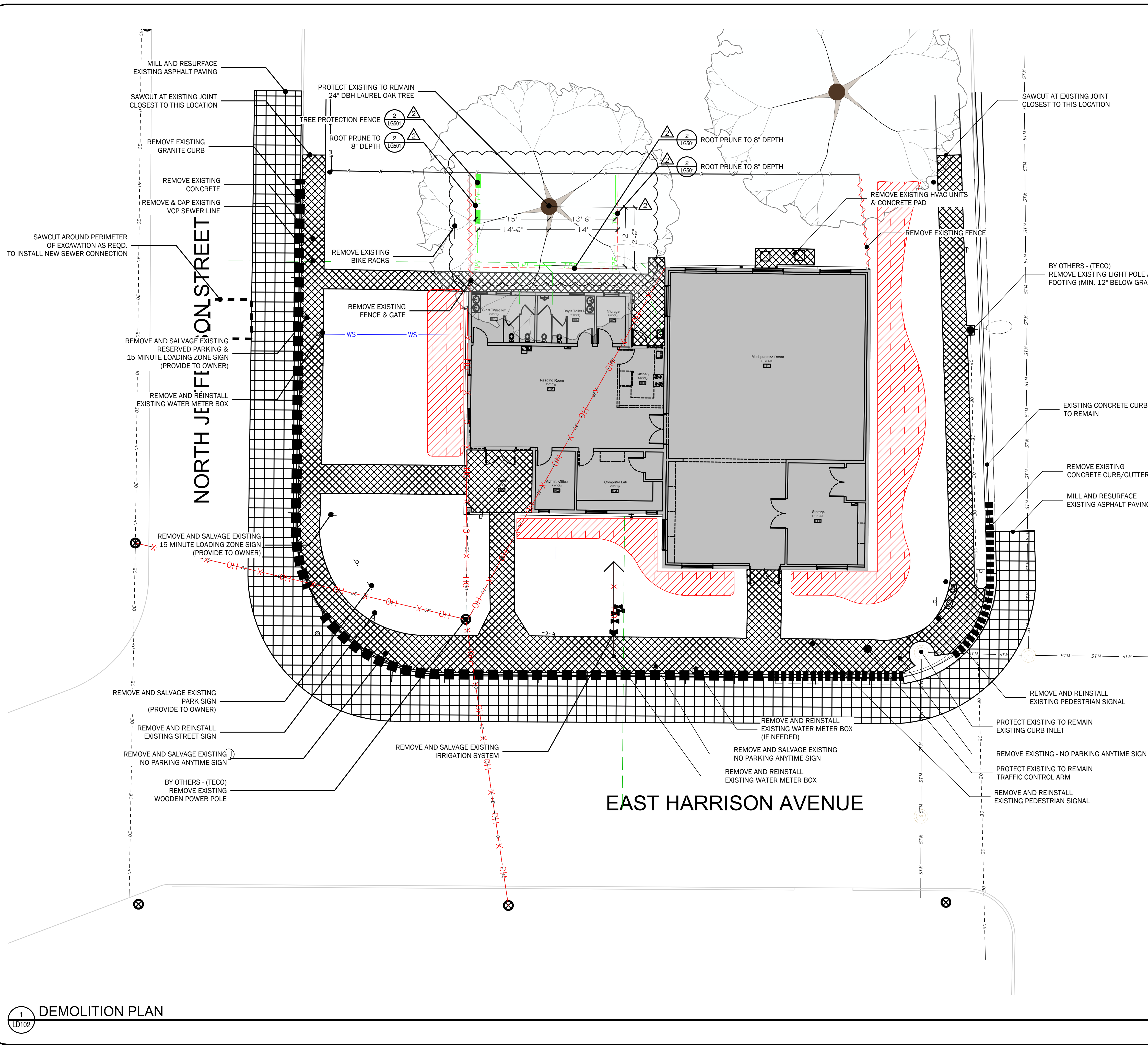


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DIMENSIONAL NOTES:

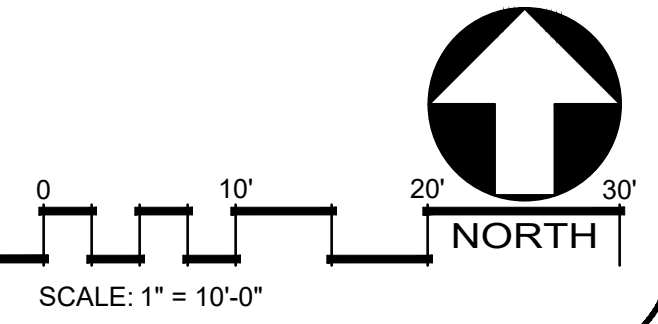
Demolition Legend

- 60 LF ■■■■■ REMOVE CONCRETE CURB & GUTTER
- 180 LF ■■■■■ REMOVE GRANITE CURB
- 2,820 SF ■■■■■ REMOVE CONCRETE PAVING
- 314 SY ■■■■■ REMOVE CONCRETE PAVING
- 2,800 SF ■■■■■ MILL & RESURFACE EXISTING ASPHALT PAVING
- 312 SY ■■■■■ MILL & RESURFACE EXISTING ASPHALT PAVING
- 1,150 SF ■■■■■ REMOVE EXISTING LANDSCAPE PLANTINGS (CLEAR & GRUB)
- 128 SY ■■■■■ REMOVE EXISTING LANDSCAPE PLANTINGS (CLEAR & GRUB)
- REMOVE BURIED PIPE (CAP AS REQUIRED)
- X-OH- REMOVE OVERHEAD UTILITY LINE
- REMOVE FENCE
- TPF TREE PROTECTION FENCE
- ROOT PRUNE



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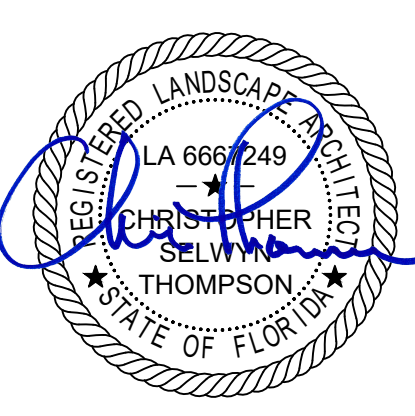
1 DEMOLITION PLAN
LD102



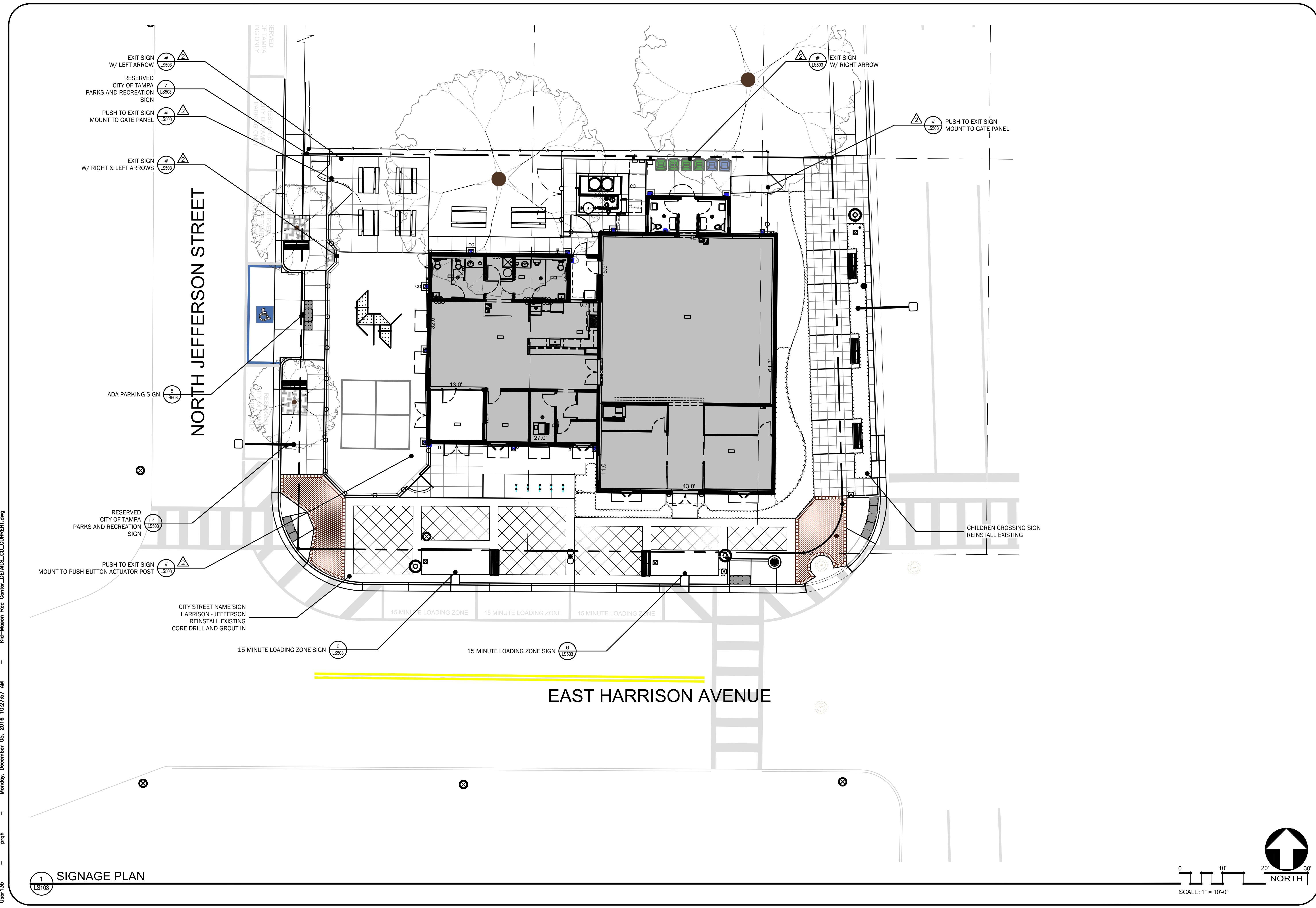
KID MASON CENTER
RENOVATION
SIGNAGE PLAN



Parks & Recreation
CITY OF TAMPA
Planning and Design
3402 W. Columbus Drive
Tampa, FL 33607



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of	45 Sheets



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1 SIGNAGE PLAN
LS103

KID MASON CENTER
RENOVATION
GRADING PLAN



Parks & Recreation
CITY OF TAMPA
Planning and Design
3402 W. Columbus Drive
Tampa, FL 33607



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SPOT ELEVATION LEGEND

- EXISTING**
- × 12.1' GROUND SPOT ELEVATION
 - × 12.13' PAVEMENT SPOT ELEVATION
- PROPOSED**
- 21.00 FINISHED SURFACE ELEVATION (TYPICAL)
 - 21.00 FG FINISHED GRADE ELEVATION (TYPICAL)
 - 21.00 ELEVATION PER DESCRIPTION
 - 21.50 TOP OF CURB ELEVATION
EDGE OF PAVEMENT ELEVATION
 - 21.50 TOP OF CURB ELEVATION
FLOWLINE OF CURB ELEVATION
EDGE OF PAVEMENT ELEVATION
 - 21.02 SURFACE SLOPE (FLOW DIRECTION)

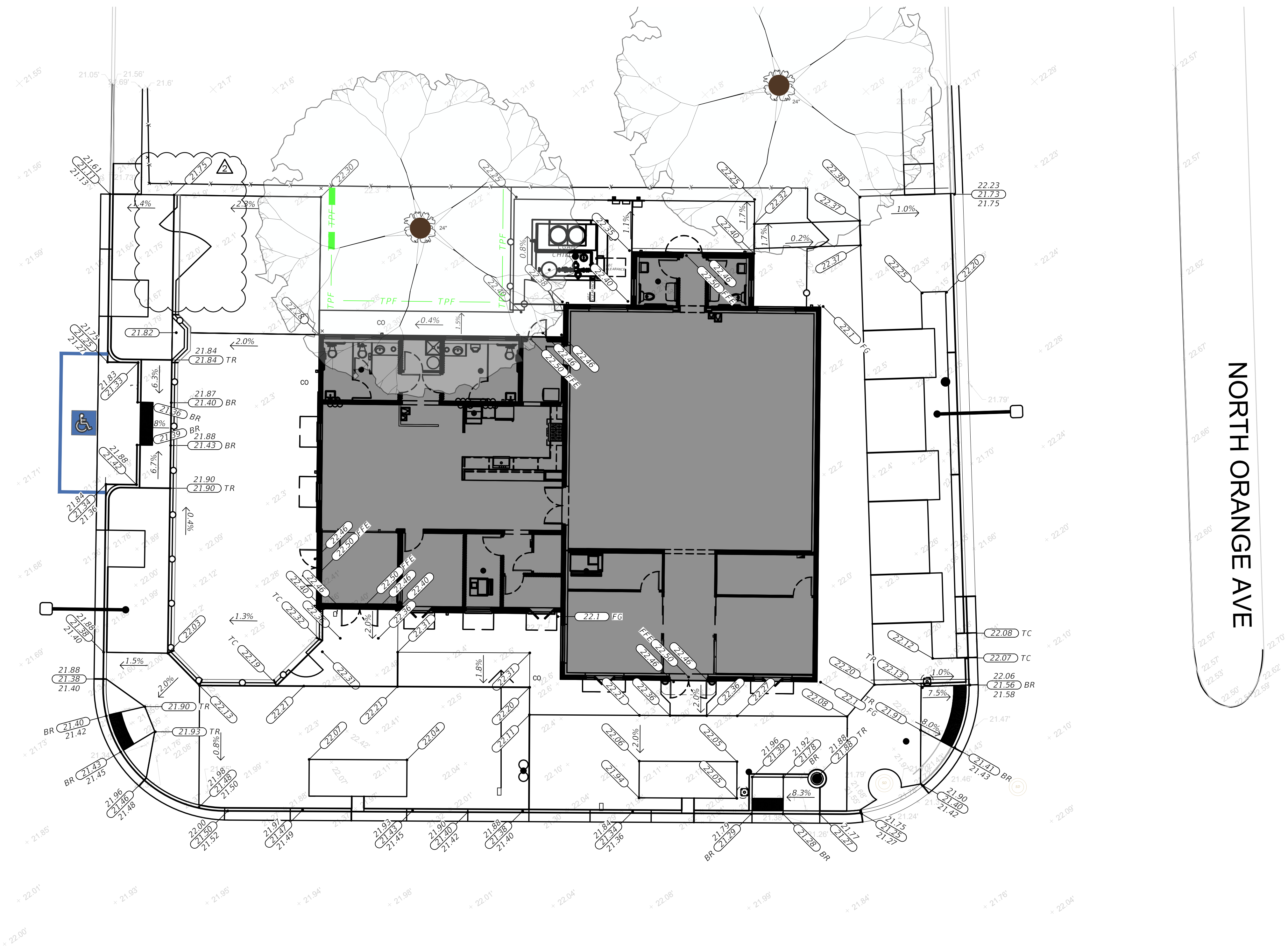
ABBREVIATION LEGEND

- EOP EDGE OF PAVEMENT
- TOC TOP OF CURB
- BOC BACK OF CURB
- FFE FINISHED FLOOR ELEVATION
- FG FINISHED GRADE
- FS FINISHED SURFACE
- FLS FLUME SILL ELEVATION
- TR TOP OF RAMP
- BR BOTTOM OF RAMP
- INV INVERT ELEVATION
- RIM RIM ELEVATION
- TW TOP OF WALL
- BW BOTTOM OF WALL
- TF TOP OF FOOTING
- BF BOTTOM OF FOOTING
- TP TOP OF PAVING

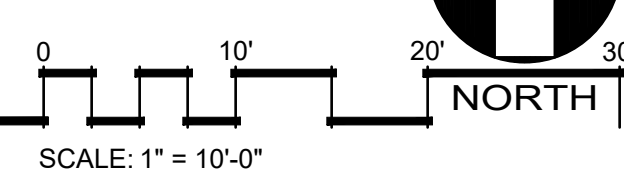
NORTH JEFFERSON STREET

NORTH ORANGE AVE

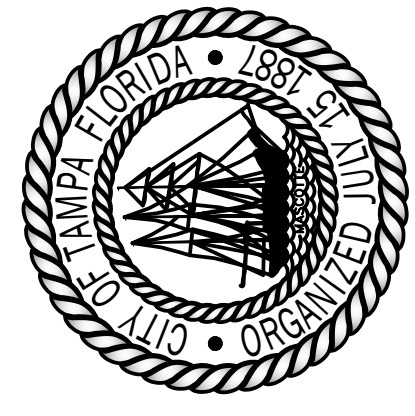
EAST HARRISON AVENUE



1 GRADING PLAN



KID MASON CENTER
RENOVATION
SLEEVING & DRAINAGE PLAN



Parks & Recreation
CITY OF TAMPA
Planning and Design
3402 W. Columbus Drive
Tampa, FL 33607



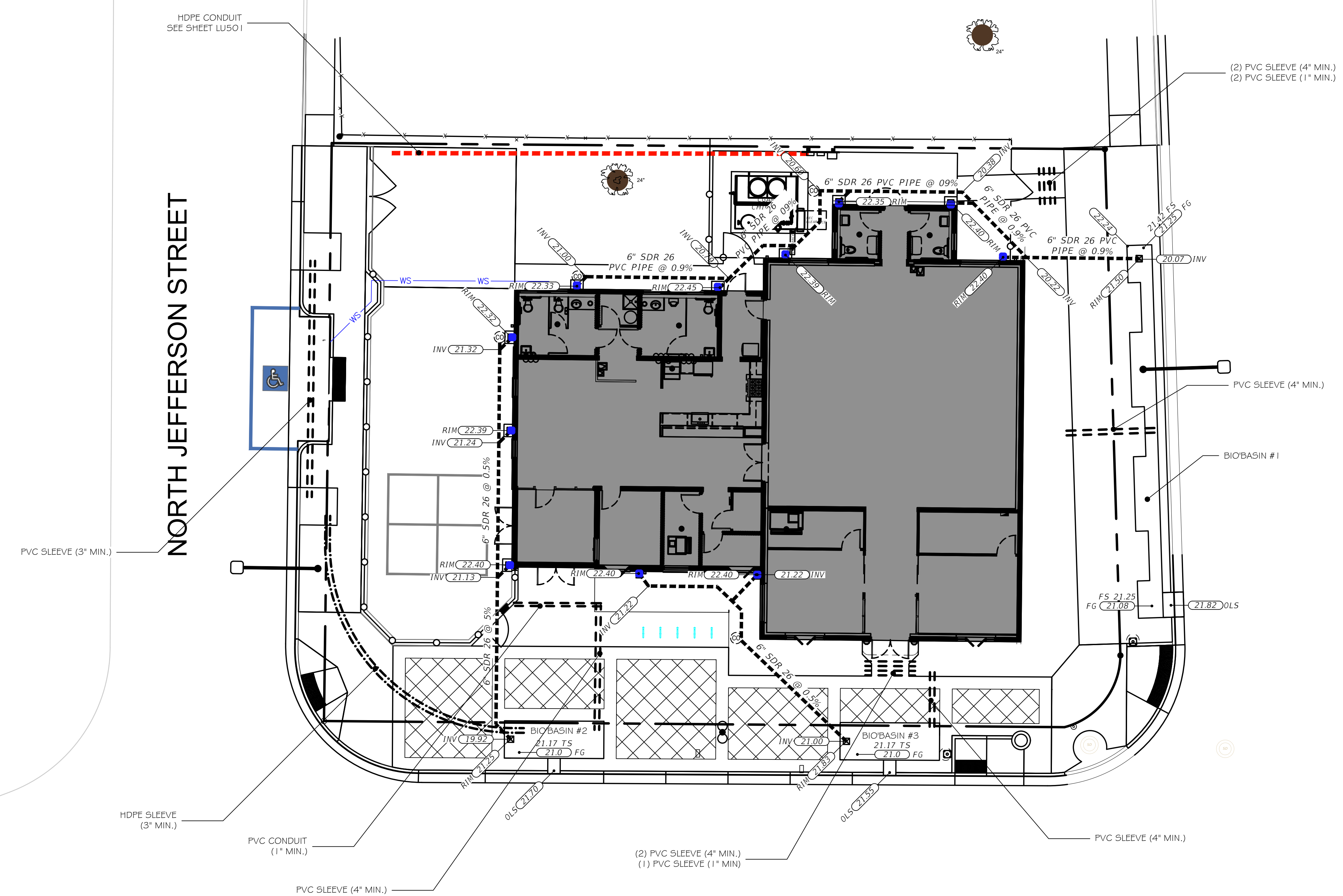
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SPOT ELEVATION LEGEND

- EXISTING**
- × 12.1' GROUND SPOT ELEVATION
 - × 12.13' PAVEMENT SPOT ELEVATION
- PROPOSED**
- 21.00 FINISHED SURFACE ELEVATION (TYPICAL)
 - 21.00 FINISHED SURFACE ELEVATION (TYPICAL)
 - 21.00 ELEVATION PER DESCRIPTION
 - 21.50 TOP OF CURB ELEVATION
 - 21.00 EDGE OF PAVEMENT ELEVATION
 - 21.50 TOP OF CURB ELEVATION
 - 21.00 FLOWLINE OF CURB ELEVATION
 - 21.02 EDGE OF PAVEMENT ELEVATION
 - 1.0% SURFACE SLOPE (FLOW DIRECTION)
 - SCH 40 PVC SLEEVE (SIZE) IRRIGATION
 - HDPE SLEEVE (SIZE) IRRIGATION
 - HDPE CONDUIT (BORE) ELECTRICAL
 - SDR 26 SEWER & DRAIN PIPE STORM DRAIN
 - ⊙ CLEAN OUT

ABBREVIATION LEGEND

- EOP EDGE OF PAVEMENT
- TOC TOP OF CURB
- BOC BACK OF CURB
- FFE FINISHED FLOOR ELEVATION
- FG FINISHED GRADE
- FS FINISHED SURFACE
- FLS FLUME SILL ELEVATION
- TR TOP OF RAMP
- BR BOTTOM OF RAMP
- INV INVERT ELEVATION
- RIM RIME ELEVATION
- TW TOP OF WALL
- BW BOTTOM OF WALL
- TF TOP OF FOOTING
- BF BOTTOM OF FOOTING
- TP TOP OF PAVING
- BIO BIORETENTION
- CO CLEAN OUT

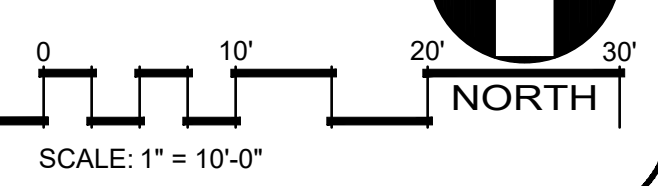


EAST HARRISON AVENUE

NORTH JEFFERSON STREET

NORTH ORANGE AVE

1 SLEEVING & DRAINAGE PLAN

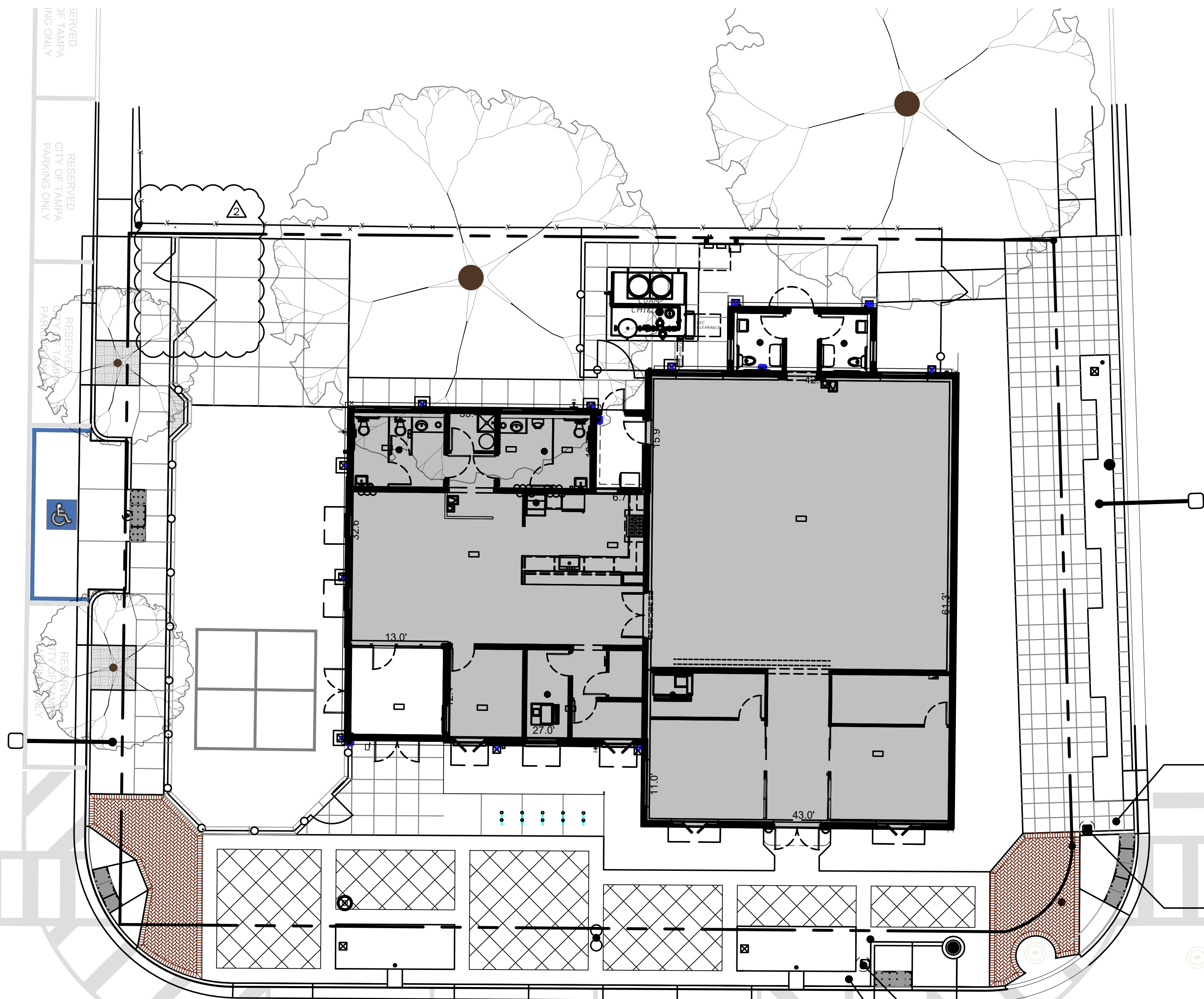


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NORTH JEFFERSON STREET

EAST HARRISON AVENUE



INSTALL NEW PULL AND SPLICE BOXES PER FDOT STANDARD PLAN 635-001 ON SIDEWALK LEVEL PAVING ALIGN W/ JOINT PATTERN

REINSTALL EXISTING PEDESTAL MOUNTED PEDESTRIAN SIGNAL PER FDOT STANDARD PLAN 646-00, 665-001, AND OTHER PLANS/SPECS/DETAILS REFERENCED THEREIN

REINSTALL EXISTING PEDESTAL MOUNTED PEDESTRIAN SIGNAL PER FDOT STANDARD PLAN 646-00, 665-001, AND OTHER PLANS/SPECS/DETAILS REFERENCED THEREIN

INSTALL NEW PULL AND SPLICE BOXES PER FDOT STANDARD PLAN 635-001 ON SIDEWALK LEVEL PAVING ALIGN W/ JOINT PATTERN

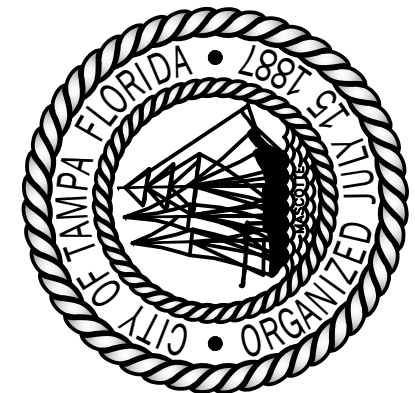
City of Tampa
CONSTRUCTION SERVICES DIVISION
PLAN APPROVAL
BLD-22-0491693 9/6/2022
THIS SET OF PLANS MUST BE KEPT ON THE JOB AT ALL TIMES

No.	Revisions	Date
1)	BLD REV	6/8/22

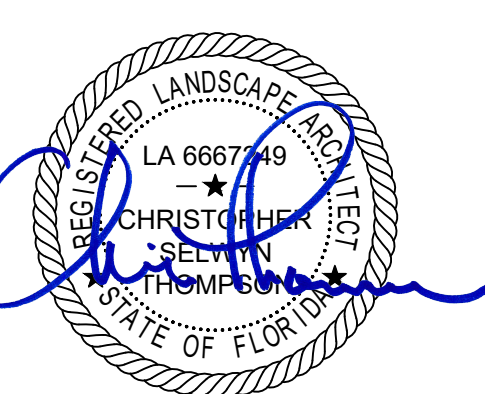
Prepared by: [Redacted]
Checked by: [Redacted]
Approved by: [Redacted]
Services Division
The planning of this project shall be held to permit or approve the violation of any City or State Codes REFERENCED FOR CODE COMPLIANCE

KID MASON CENTER
RENOVATION
SIGNALIZATION PLAN

PROJECT SHEET



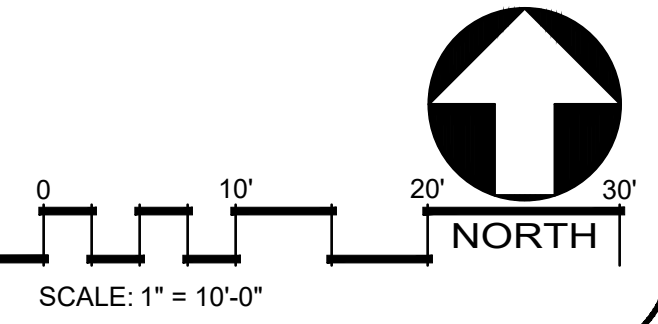
Parks & Recreation
CITY OF TAMPA
Planning and Design
3402 W. Columbus Drive
Tampa, FL 33607



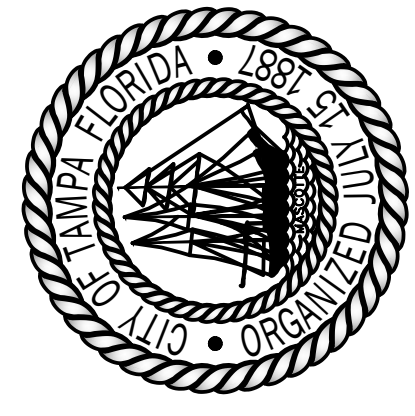
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1 SIGNALIZATION PLAN
LS105



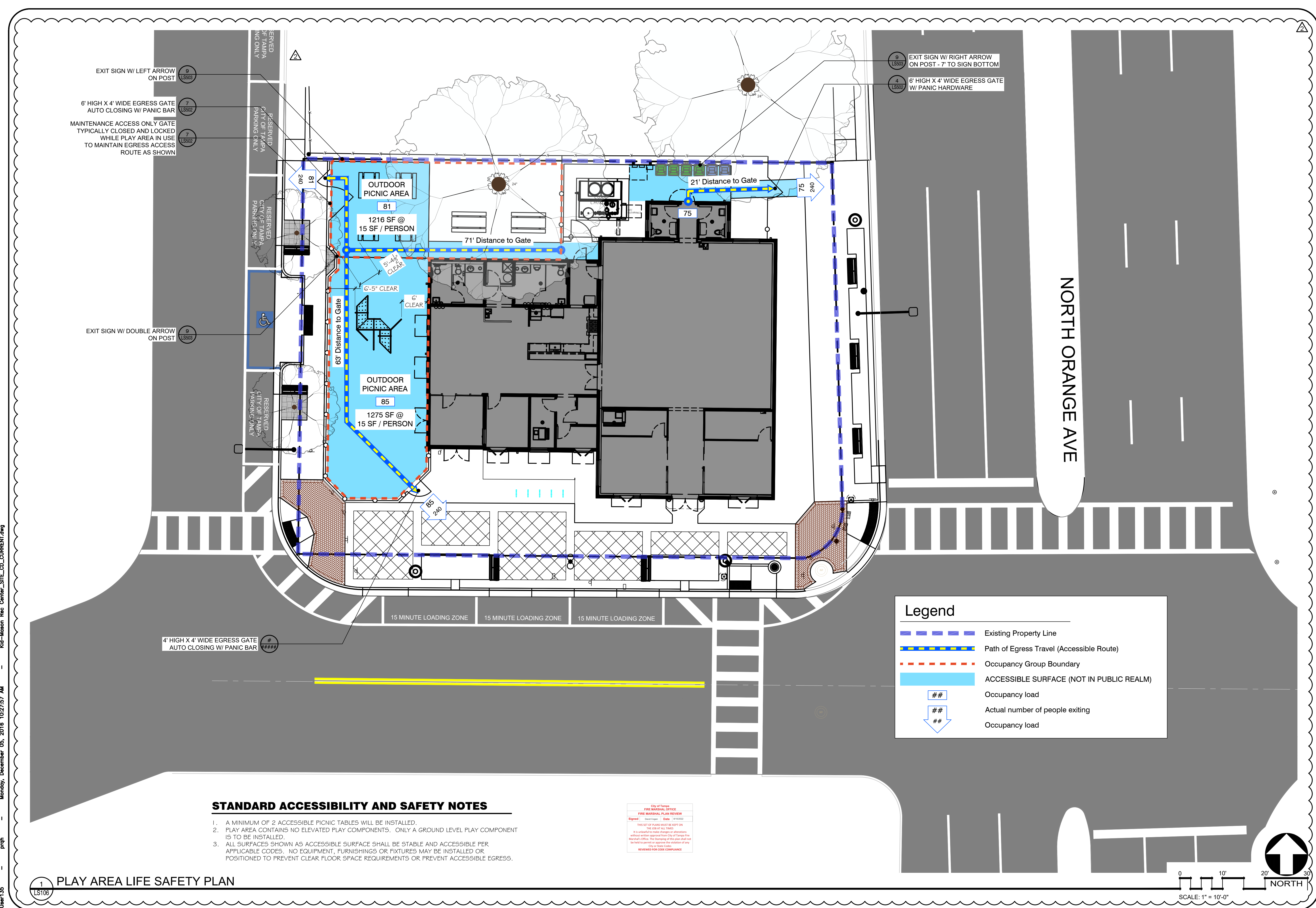
KID MASON CENTER
RENOVATION
PLAY AREA LIFE SAFETY
PLAN



Parks & Recreation
CITY OF TAMPA
Planning and Design
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Tampa, FL 33607



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Legend

- Existing Property Line
- Path of Egress Travel (Accessible Route)
- Occupancy Group Boundary
- ACCESSIBLE SURFACE (NOT IN PUBLIC REALM)
- Occupancy load
- Actual number of people exiting
- Occupancy load

STANDARD ACCESSIBILITY AND SAFETY NOTES

- A MINIMUM OF 2 ACCESSIBLE PICNIC TABLES WILL BE INSTALLED.
- PLAY AREA CONTAINS NO ELEVATED PLAY COMPONENTS. ONLY A GROUND LEVEL PLAY COMPONENT IS TO BE INSTALLED.
- ALL SURFACES SHOWN AS ACCESSIBLE SURFACE SHALL BE STABLE AND ACCESSIBLE PER APPLICABLE CODES. NO EQUIPMENT, FURNISHINGS OR FIXTURES MAY BE INSTALLED OR POSITIONED TO PREVENT CLEAR FLOOR SPACE REQUIREMENTS OR PREVENT ACCESSIBLE EGRESS.

City of Tampa
FIRE MARSHAL OFFICE
FIRE MARSHAL PLAN REVIEW
Signed: _____ Date: 9/6/2022
THIS SET OF PLANS MUST BE KEPT ON THE JOB AT ALL TIMES
It is unlawful to make changes or alterations without written approval from City of Tampa Fire Marshal's Office. The stamping of this plan shall be held to permit or approve the violation of any City or State Codes. REQUIRED FOR CODE COMPLIANCE

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KID MASON CENTER
RENOVATION
CONC. JOINT DETAIL PLAN



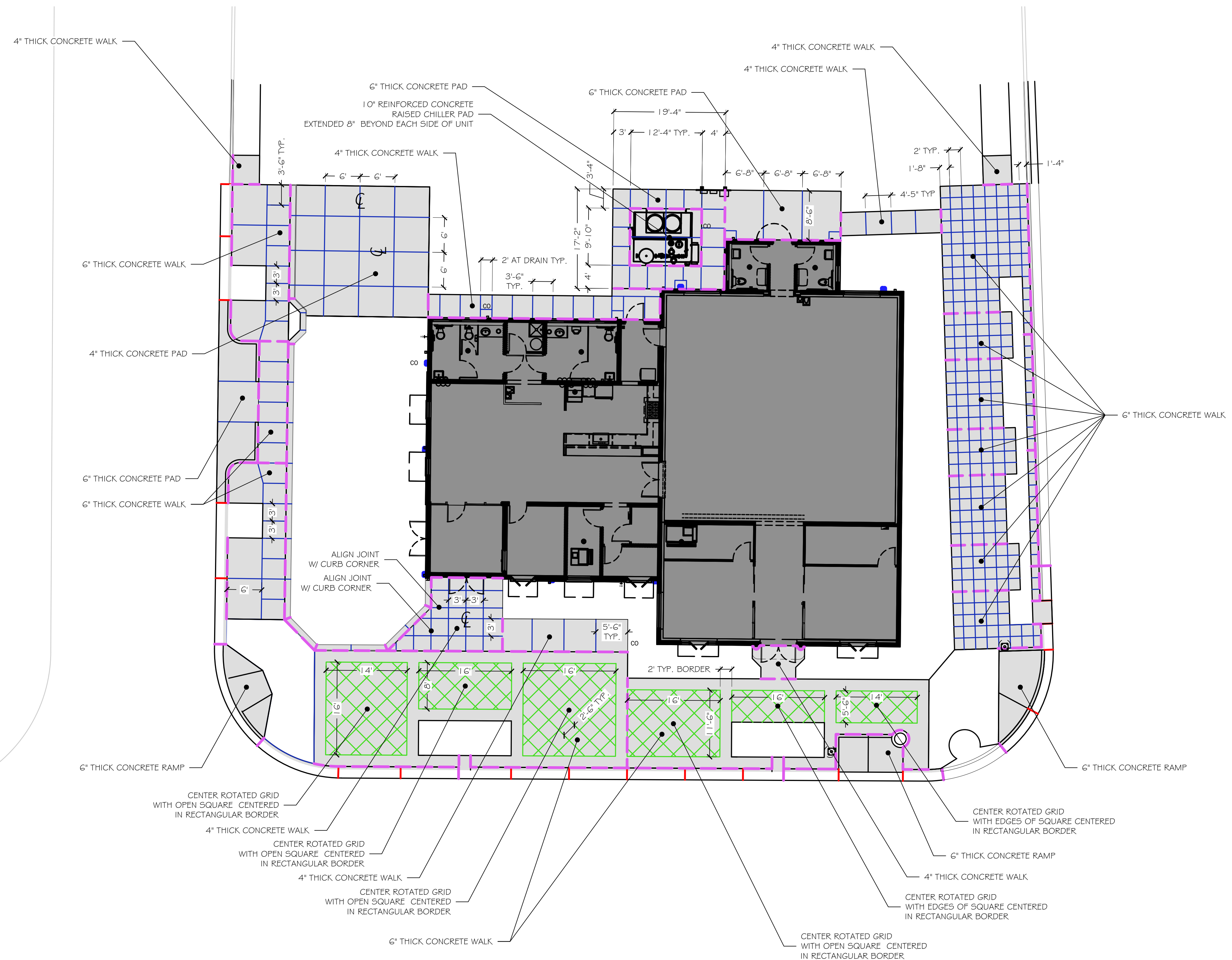
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CITY OF TAMPA
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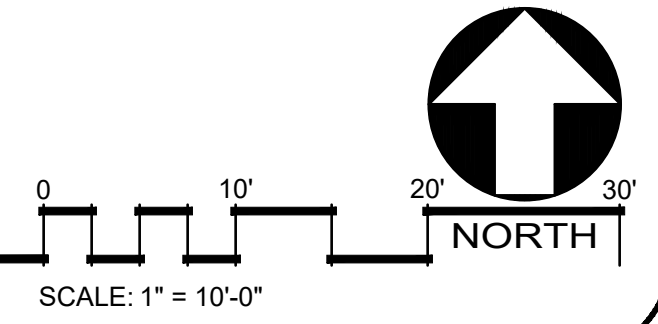
JOINT LEGEND

	1/2" EXPANSION JOINT (PERFORMED WITH JOINT SEALANT)
	TOOLED JOINTS (3/8" WIDTH BY 1/2" DEPTH)
	SAW CUT JOINTS (3/16" WIDTH BY 1 1/2" MIN. DEPTH)
	CURB AND GUTTER CONTRACTION JOINTS (3/16" WIDE)



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LS401
CONC. JOINT DETAIL PLAN



KID MASON CENTER
RENOVATION
ENLARGED IRRIGATION PLANS



Parks & Recreation
CITY OF TAMPA
Planning and Design
3402 W. Columbus Drive
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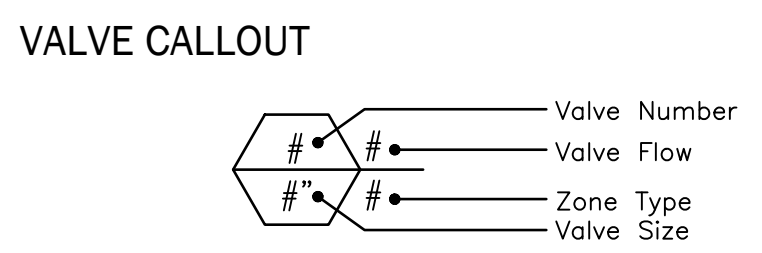
IRRIGATION SCHEDULE

- IRRIGATION HEADS**
- 5 Rain Bird 1812 5 Series MPR - QUARTER CIRCLE
 - 5 Rain Bird 1812 5 Series MPR - HALF CIRCLE
 - 8 Rain Bird 1812 8 Series MPR - QUARTER CIRCLE
 - 8 Rain Bird 1812 8 Series MPR - HALF CIRCLE
 - 5 Rain Bird 1812 5 Series MPR Bubbler - CST-B (LOW VOLUME)
 - 5 Rain Bird 1812 SQ Series MPR - HALF (LOW VOLUME)
 - 1402 Rain Bird 1400 Series BUBBLER - 1402 (LOW VOLUME)

- VALVES**
- 214B Irritrol 214B Electric Remote Control Valve - Globe/Angle
 - 216B Irritrol 216B Electric Remote Control Master Valve - Globe/Angle
 - QC RainBird Quick-Coupling Valve - 3-RC

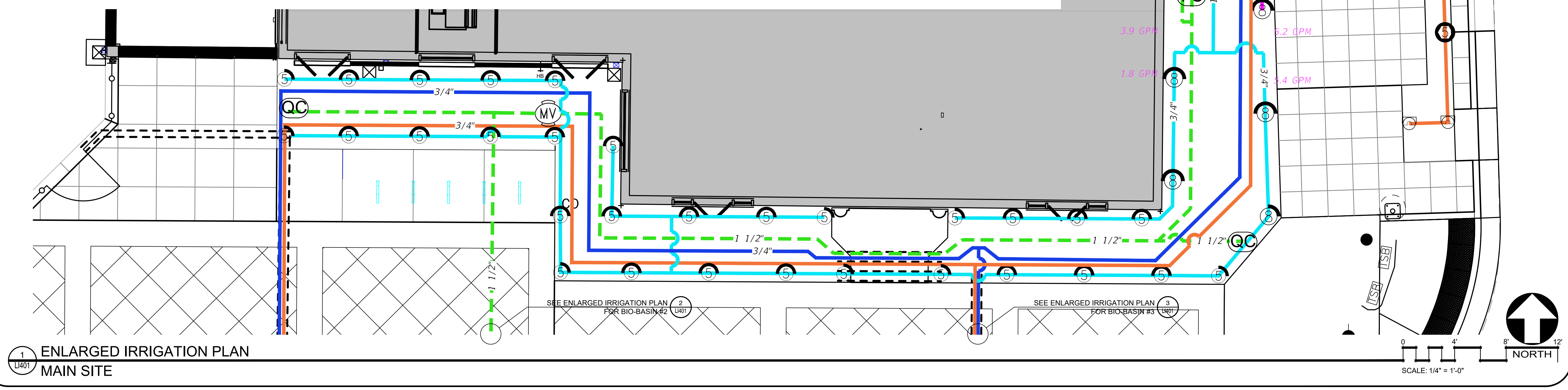
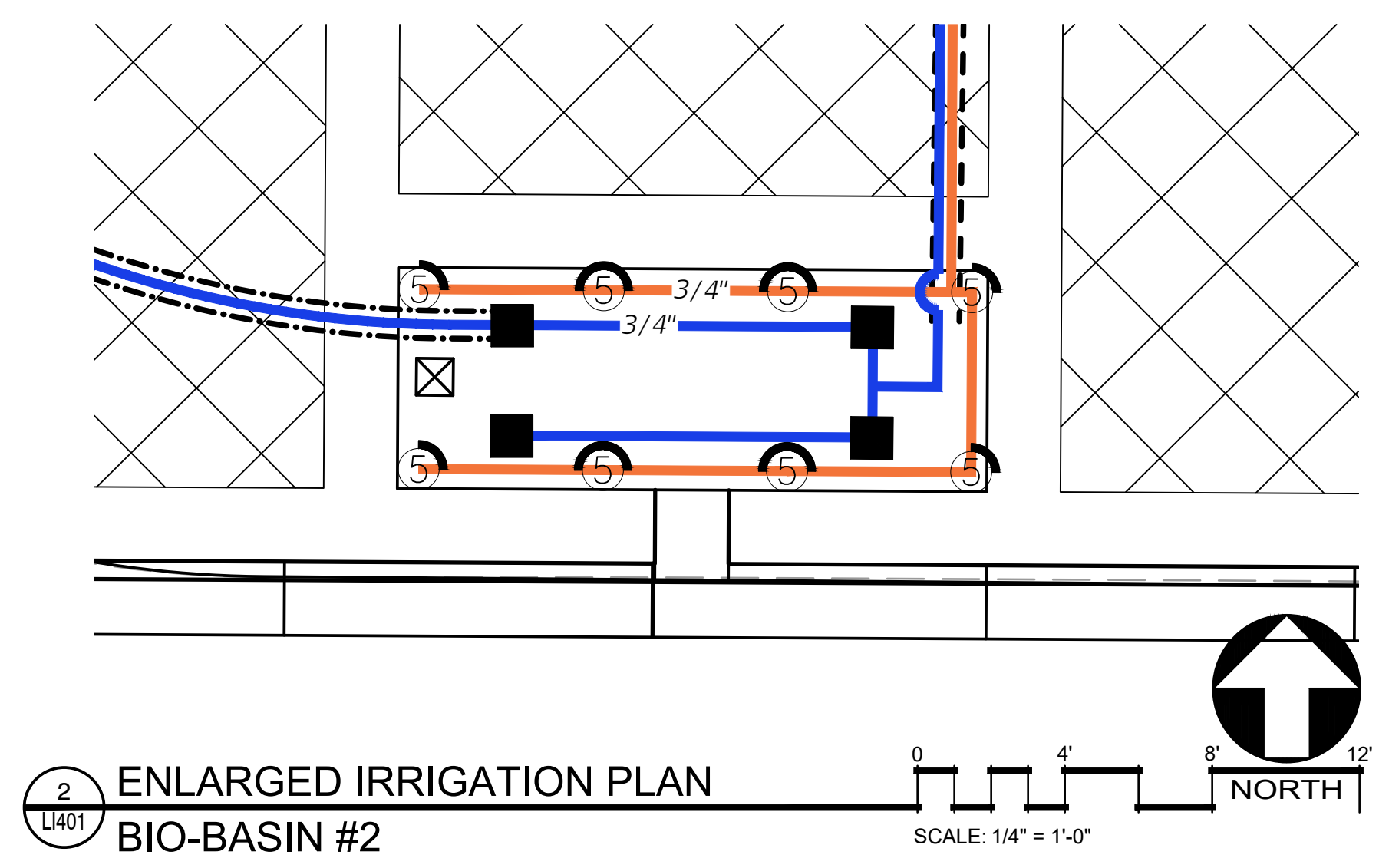
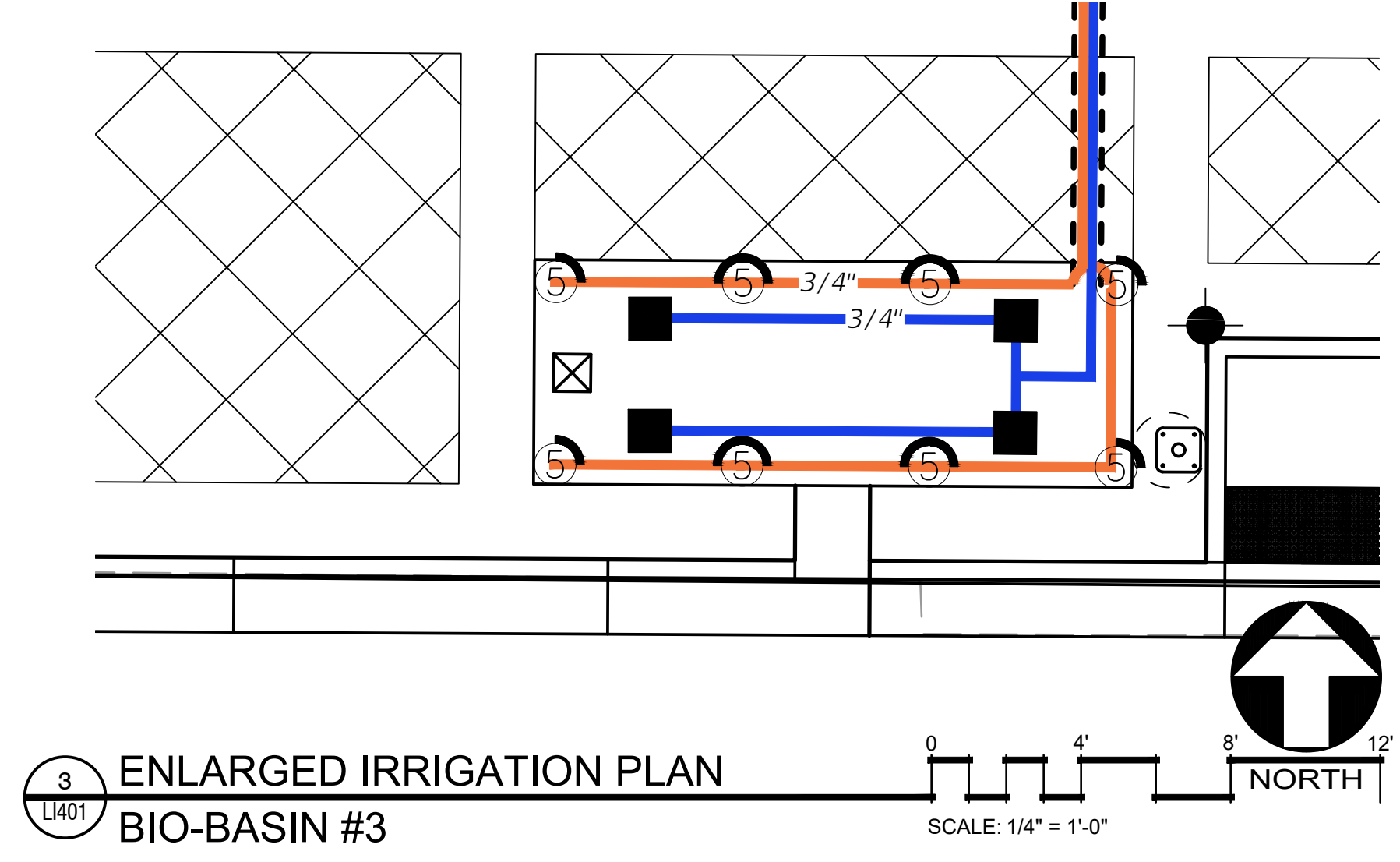
- ADDITIONAL EQUIPMENT**
- IRRI-M 12 STATION CONTROLLER (PROVIDED & INSTALLED BY OWNER)
 - BF Febco 850 1" Double Check Backflow prevention
 - FS RainBird Quick-Coupling Valve - 3-RC

- WATER METERS**
- M1 Potable Water Meter for Irrigation System
 - M2 Potable Water Meter for Building Service



- IRRIGATION PIPING**
- 7" MAINLINE SCH 40 PVC SIZE AS NOTED
 - 1" ZONE 1 LATERAL LINE SCH 40 PVC (LOW VOLUME) SIZE AS NOTED
 - 1" ZONE 2 LATERAL LINE SCH 40 PVC (LOW-VOLUME) SIZE AS NOTED
 - 1" ZONE 3 LATERAL LINE SCH 40 PVC SIZE AS NOTED
 - 1" ZONE 4 LATERAL LINE SCH 40 PVC SIZE AS NOTED
 - 4" TYP. TYP SLEEVE SCH 40 PVC. Typical pipe sleeve for irrigation pipe. Pipe sleeve size shall allow for irrigation piping and their related couplings to easily slide through sleeving material. Extend sleeves 18 inches beyond edges of paving or construction.
 - 3" TYP. CURVED SLEEVE SCH 40 HDPE. Flexible sleeve for irrigation pipe. Pipe sleeve size shall allow for irrigation piping and their related couplings to easily slide through sleeving material. Extend sleeves 18 inches beyond edges of paving or construction.

Note:
Exact pipe locations shown are diagrammatic to aid in clarity.



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Site Furnishings Legend

SYMBOL	DESCRIPTION
	PROPOSED TRASH RECEPTACLE Du-Mor Receptacle 107-32-FTO (32 Gallon) with DM-Dome Top Lid'
	PROPOSED AESTHETIC POLE & LAMP 12' Franklin Black Pole W/ Double Granville LED 50 W
	PROPOSED UPGRADED STREETLIGHT 38' black Waterside Pole w/ 145 w LED Autobahn - Refer to TECO Design
	PROPOSED BENCH Landscapeforms 'Plainwell Bench' - 72"
	PROPOSED BIKE RACK Dero Bike Racks 'Swerve Rack'

Surface Treatment Legend

	BRICK PAVERS
	CONCRETE PAVEMENT W/ DECORATIVE JOINTS AS SHOWN
	FLEXI-PAVE TREE WELL SURFACE

City of Tampa
PLANNING AND DEVELOPMENT
URBAN DESIGN APPROVAL
Signed: Andy Mizuki Date: 8/8/2022
Any changes to these drawings must be approved
by the Planning & Urban Design Division.
Note: This Approval specifically pertains to
Development Design Review only, relative to
Overlay District Design Standards. This approval
does NOT serve as an all-inclusive approval for the
City of Tampa (all departments) as a whole.
REVIEWED FOR CODE COMPLIANCE



KID MASON CENTER
RENOVATION
STREETSCAPE DETAIL PLAN

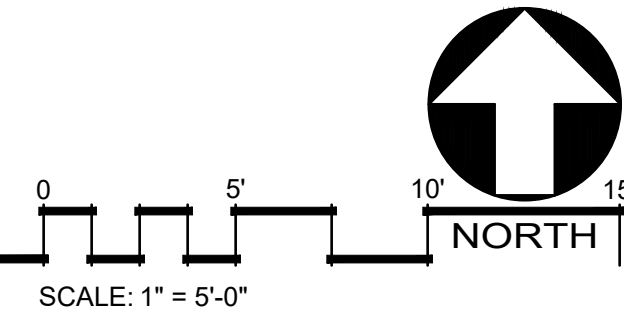


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Planning and Design
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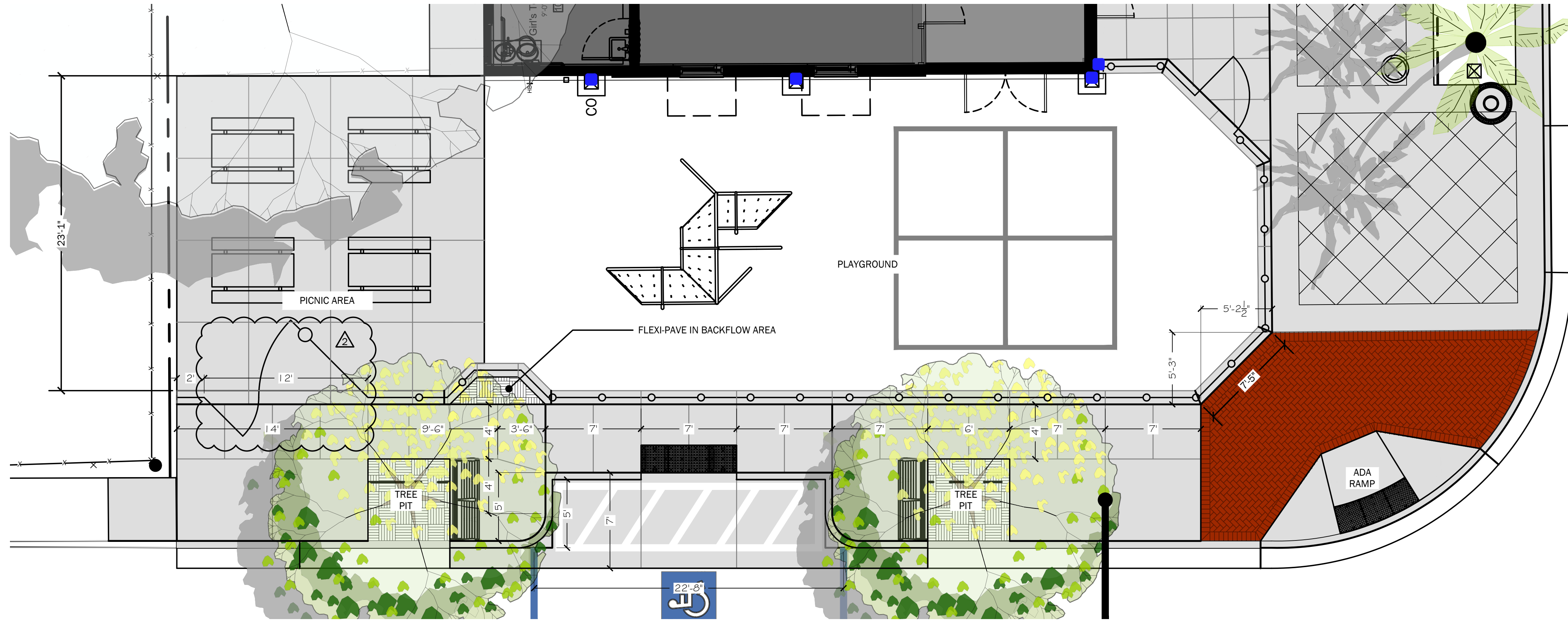


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LK401
STREETSCAPE DETAIL PLAN
EAST HARRISON AVENUE



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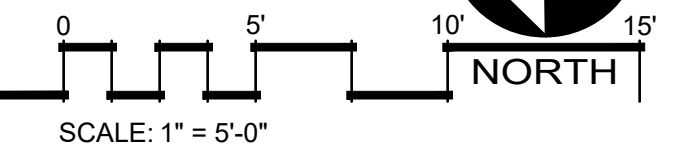
Site Furnishings Legend

- | SYMBOL | DESCRIPTION |
|--------|---|
| | PROPOSED TRASH RECEPTACLE
Du-Mor Receptacle 107-32-FTO
(32 Gallon) with DM-Dome Top Lid' |
| | PROPOSED AESTHETIC POLE & LAMP
12' Franklin Black Pole W/
Double Granville LED 50 W |
| | PROPOSED UPGRADED STREETLIGHT
38' black Waterside Pole w/ 145 w LED Autobahn
- Refer to TECO Design |
| | PROPOSED BENCH
Landscapeforms
'Plainwell Bench' - 72" |
| | PROPOSED BIKE RACK
Dero Bike Racks
'Swerve Rack' |

Surface Treatment Legend

- | | |
|--|--|
| | BRICK PAVERS |
| | CONCRETE PAVEMENT
W/ DECORATIVE JOINTS AS SHOWN |
| | FLEXI-PAVE TREE WELL SURFACE |

2 STREETScape DETAIL PLAN
LK402 NORTH JEFFERSON STREET

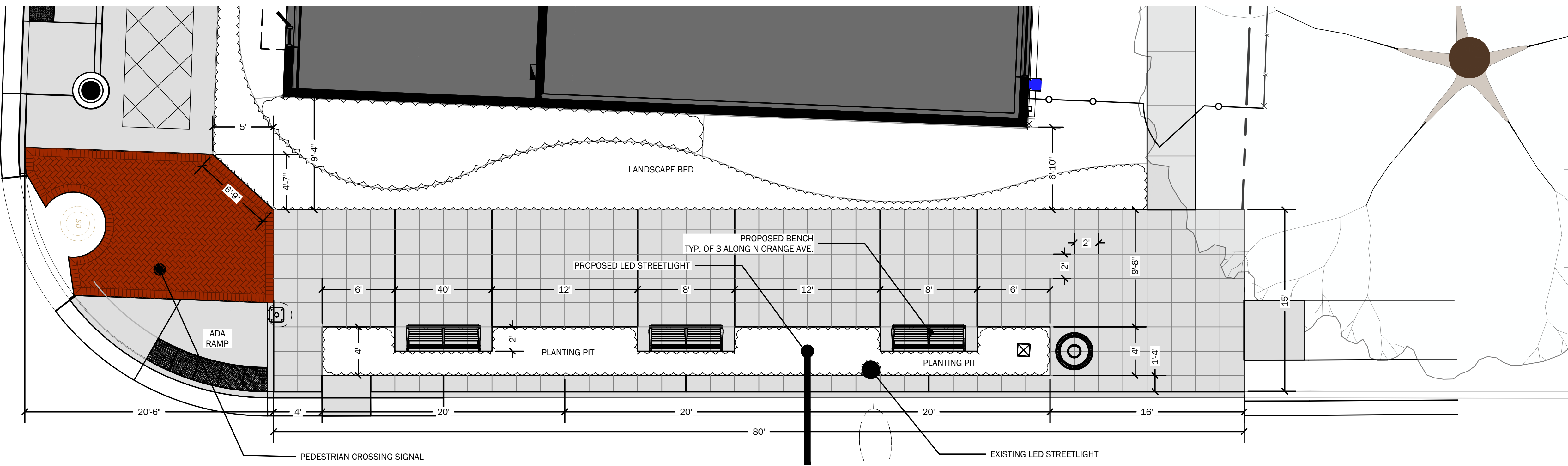


KID MASON CENTER
RENOVATION
STREETScape DETAIL PLAN
PROJECT SHEET

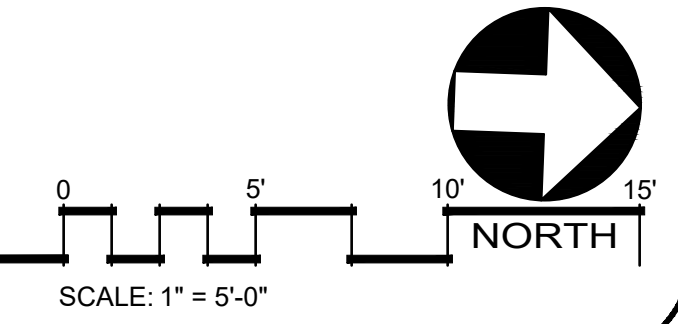


Parks & Recreation
CITY OF TAMPA
Planning and Design
3402 W. Columbus Drive
Tampa, FL 33607

City of Tampa
PLANNING AND DEVELOPMENT
URBAN DESIGN APPROVAL
Signed: Andy Mikulski Date: 8/8/2022
Any changes to these drawings must be approved by the Planning & Urban Design Division
Note: This Approval specifically pertains to Development Design Review only, relative to Overlay District Design Standards. This approval does NOT serve as an all-inclusive approval for the City of Tampa (all departments) as a whole.
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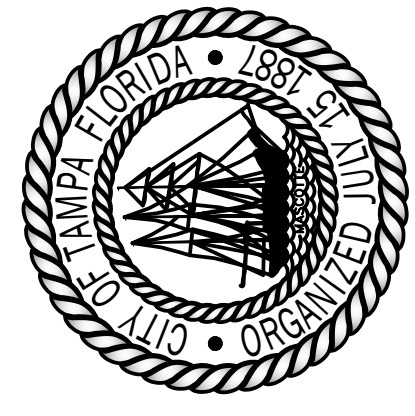
1 STREETScape DETAIL PLAN
LK402 NORTH ORANGE AVENUE



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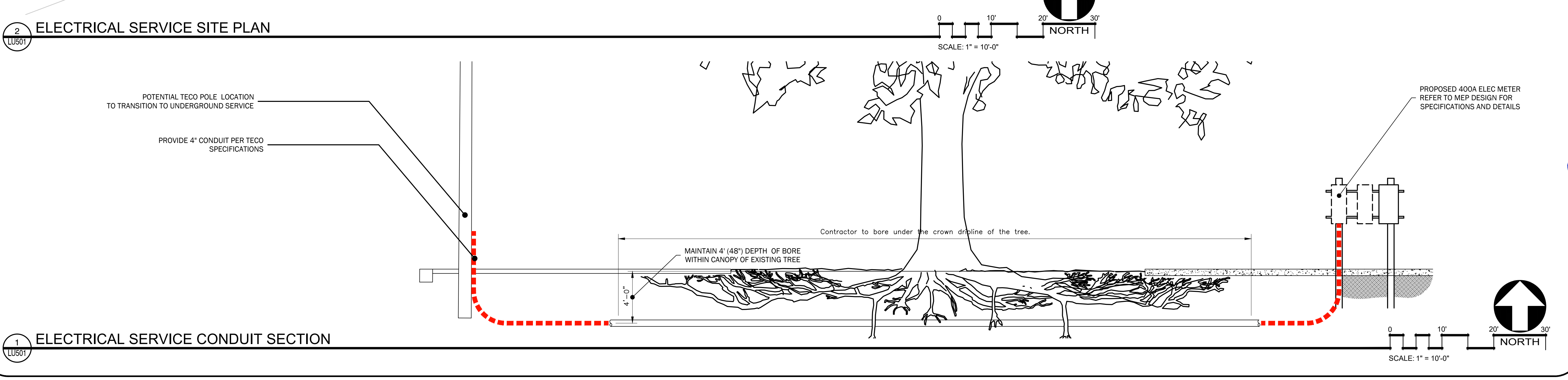
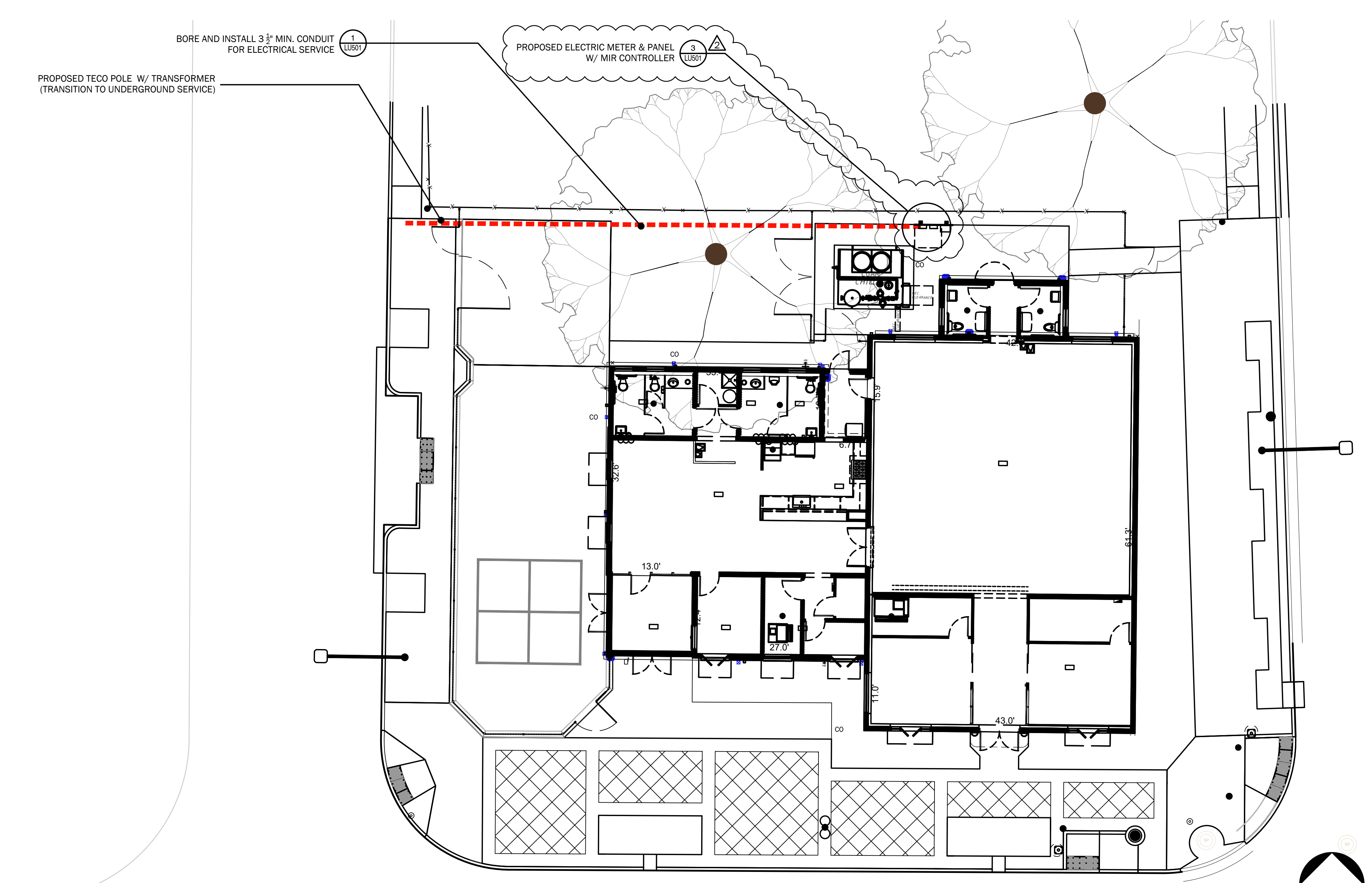
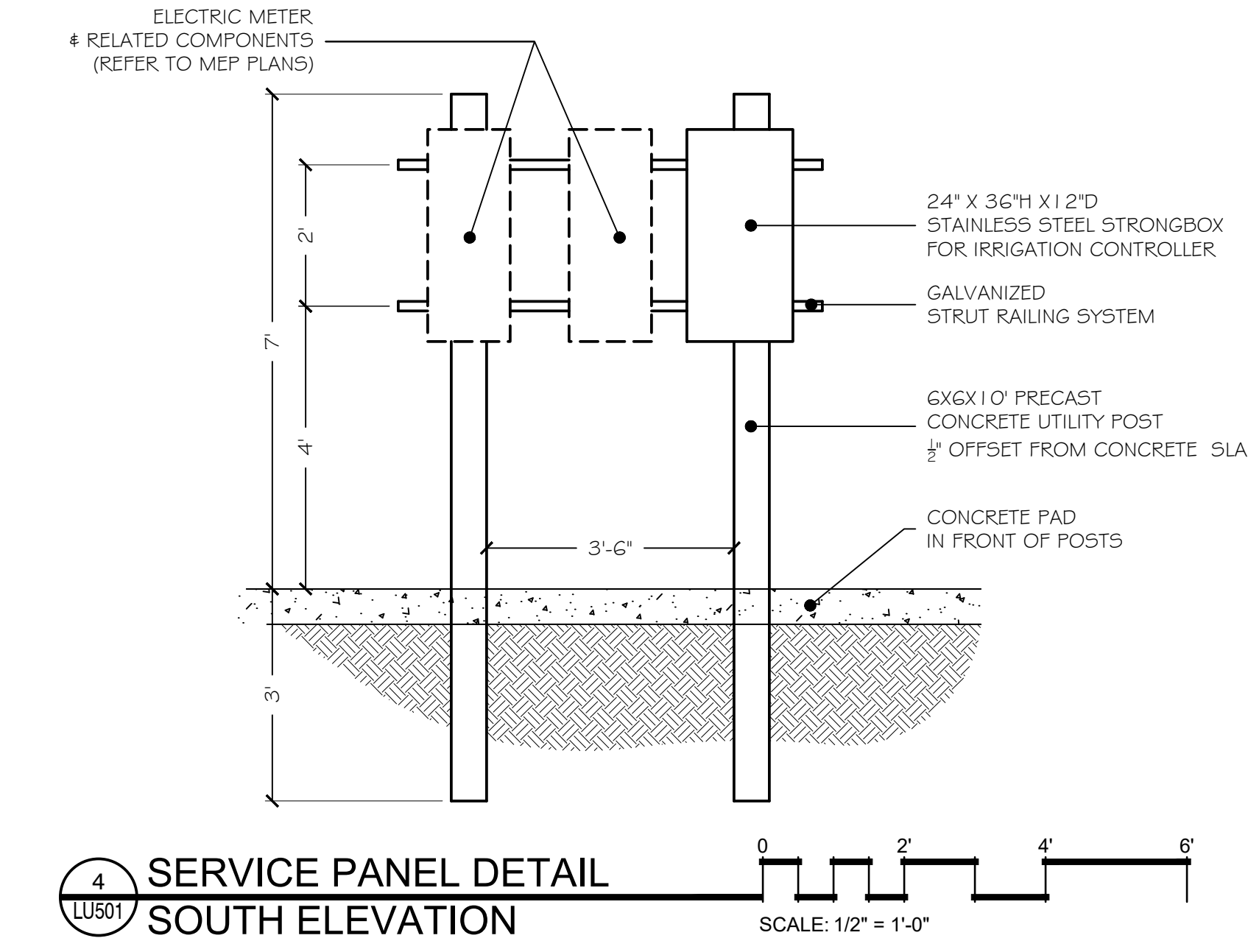
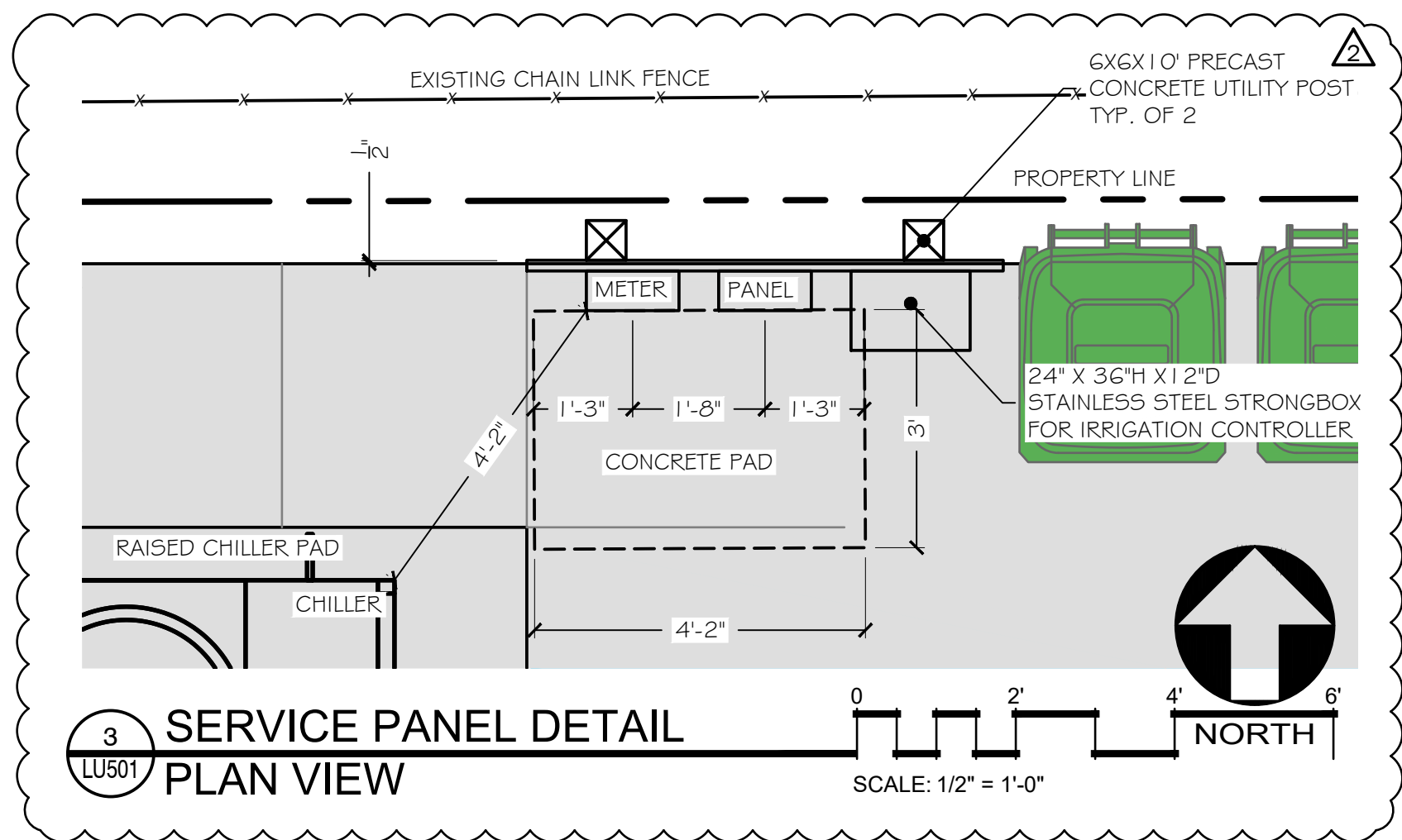
KID MASON CENTER
RENOVATION
UTILITY DETAILS



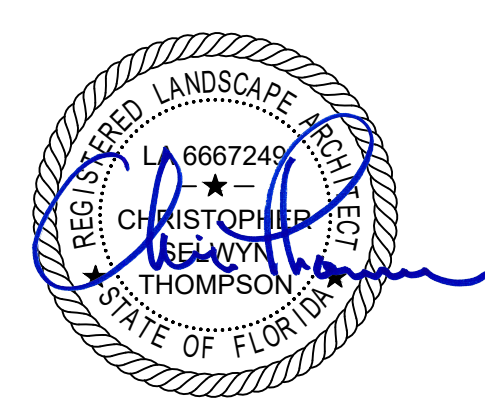
Parks & Recreation
CITY OF TAMPA
Planning and Design
3402 W. Columbus Drive
Tampa, FL 33607



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CITY OF TAMPA IRRIGATION NOTES (Sec 27-284.3.2 (c))

- ALL REQUIRED LANDSCAPING, AS DESCRIBED IN SECTION 27-284.3.3, SHALL BE EQUIPPED WITH AN IRRIGATION SYSTEM EXCEPT AS SPECIFIED BELOW:
 - RETAINED NATIVE PLANT HABITAT IS NOT REQUIRED TO HAVE AN IRRIGATION SYSTEM.
 - SINGLE- AND TWO-FAMILY DWELLINGS ARE NOT REQUIRED TO HAVE AN IRRIGATION SYSTEM. HOWEVER, THE ADDITION OF SYNTHETIC WATER ABSORBING POLYMERS TO TOPSOIL PRIOR TO PLANTING OR SODDING TO INCREASE WATER-HOLDING CAPACITY IS ENCOURAGED.
 - DROUGHT-TOLERANT LANDSCAPE MATERIAL (SEE THE UNIVERSITY OF FLORIDA IFAS EXTENSION FLORIDA YARDS AND NEIGHBORHOODS FLORIDA-FRIENDLY PLANT LIST 2006, AS MAY SUBSEQUENTLY BE REVISED) PLANTED IN SPECIFIC ZONES OR BEDS IS ONLY REQUIRED TO BE IRRIGATED DURING ESTABLISHMENT (MINIMUM THIRTY (30) DAYS) AND PROTRACTED DROUGHT PERIODS. IRRIGATION SHALL BE A LOW-VOLUME IRRIGATION SYSTEM.
- THE LANDSCAPE AND TREE PLANTING PLAN SHALL ILLUSTRATE THE PROPOSED IRRIGATION ZONES, DELINEATING LOW-VOLUME IRRIGATION ZONES AND AREAS UTILIZING IRRIGATION TECHNIQUES OTHER THAN LOW-VOLUME IRRIGATION.
- IRRIGATED TURF AREAS SHALL UTILIZE IRRIGATION TECHNIQUES OTHER THAN LOW-VOLUME IRRIGATION. TURF AREAS SHALL BE ON SEPARATE IRRIGATION ZONES FROM OTHER LANDSCAPE PLANT ZONES. IN THE CASE OF EXPANSION OF AN EXISTING DEVELOPMENT, THIS LIMITATION WILL APPLY TO THE AREA OF NEW LANDSCAPE, ONLY.

IN ADDITION, IN ORDER TO PROMOTE WATER CONSERVATION IN THE COMMUNITY, FLORIDA FRIENDLY YARDS ARE STRONGLY ENCOURAGED. A MAXIMUM OF FIFTY (50) PERCENT GREEN SPACE MAY BE PLANTED WITH TURFGRASS CONFIGURED WITH A PERMANENT IRRIGATION SYSTEM (THE MAXIMUM ALLOWABLE NEW TURF GRASS PERCENTAGE WILL BE REDUCED TO FORTY-FIVE (45) PERCENT IN 2009, FORTY (40) PERCENT IN 2010, THIRTY-FIVE (35) PERCENT IN 2011, THIRTY (30) PERCENT IN 2012 AND TWENTY-FIVE (25) PERCENT IN 2013 AND THEREAFTER.) TURF GRASS IN EXCESS OF THIS LIMITATION SHALL NOT BE ALLOWED TO HAVE A PERMANENT OR TEMPORARY IRRIGATION SYSTEM. IN THE CASE OF EXPANSION OF AN EXISTING DEVELOPMENT OR THE COMPLETION OR CONTINUATION OF A PHASED DEVELOPMENT, LIMITATIONS IDENTIFIED FOR ALLOWABLE NEW TURF GRASS PERCENTAGES, WILL APPLY TO THE AREA OF NEW LANDSCAPING ONLY.
- TURF ZONE HEAD SPACING SHALL ACHIEVE HEAD TO HEAD COVERAGE.
- SPRAYS AND ROTORS SHALL NOT BE COMBINED ON THE SAME CONTROL VALVE CIRCUIT. SPRAYS AND ROTORS SHALL HAVE MATCHING APPLICATION RATES WITHIN EACH IRRIGATION ZONE.
- ALL IRRIGATION SYSTEMS SHALL BE DESIGNED TO AVOID OVER SPRAY, RUNOFF, LOW HEAD DRAINAGE, OR OTHER SIMILAR CONDITIONS WHERE WATER FLOWS ONTO OR OVER ADJACENT PROPERTY, NON-IRRIGATED AREAS, WALKWAYS, ROADWAYS, STRUCTURES, OR WATER FEATURES. EMITTERS AND SPRINKLER HEADS ARE ENCOURAGED TO BE LOCATED AT LEAST TWO (2) FEET FROM BUILDINGS AND WATER SHOULD NOT HIT THE BUILDING WHILE OPERATING. NARROW AREAS (FOUR (4) FEET WIDE OR LESS) SHALL NOT BE IRRIGATED UNLESS LOW-VOLUME IRRIGATION IS UTILIZED.
- IRRIGATION CONTROL EQUIPMENT SHALL INCLUDE AN AUTOMATIC IRRIGATION CONTROLLER HAVING PROGRAM FLEXIBILITY SUCH AS REPEAT CYCLES AND MULTIPLE PROGRAM CAPABILITIES. AUTOMATIC IRRIGATION CONTROLLER(S) SHALL HAVE BATTERY BACK-UP OR NONVOLATILE MEMORY TO RETAIN THE IRRIGATION PROGRAM(S). AUTOMATIC CONTROL

- SYSTEMS SHALL BE EQUIPPED WITH AN OPERABLE RAIN SENSOR OR OTHER DEVICES, SUCH AS SOIL MOISTURE SENSORS, TO PREVENT UNNECESSARY IRRIGATION.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED TO "STANDARDS AND SPECIFICATIONS FOR TURF AND LANDSCAPE IRRIGATION SYSTEMS," FIFTH EDITION, 2005, FLORIDA IRRIGATION SOCIETY.
- ALL INSTALLATIONS OF NEW IRRIGATION SYSTEMS SHALL CONNECT TO THE CITY'S RECLAIMED WATER SYSTEM IF THAT SYSTEM IS AVAILABLE, AS REQUIRED BY TAMPA CITY CODE, CHAPTER 26 AND SUBSEQUENT AMENDMENTS.
- SPORTS FIELDS, GOLF COURSES, CEMETERIES, AND STORMWATER MANAGEMENT SYSTEMS ARE EXEMPT FROM THE TURF AREA LIMITATION AND LOW-VOLUME IRRIGATION REQUIREMENTS OF THIS ORDINANCE WHERE FUNCTIONAL NEED FOR TURF IS DEMONSTRATED. ALL OTHER IRRIGATION AND LANDSCAPE REQUIREMENTS OF THIS ARTICLE APPLY.

IRRIGATION SPECIFICATIONS

- CONTROLLER SHALL BE (AS NOTED IN DETAIL ON THIS SHEET)

A 12 STATION MOTOROLA AC IRRInet CONTROLLER ASSEMBLY WITH UHF HT750 EXTERNAL RADIO KIT (MODEL # IMDC-12-RX-S18P-AHT-SA-X).

UNIT SHALL BE MOUNTED IN A STRONGBOX SB-18SSW STAINLESS STEEL WALL MOUNT ENCLOSURE.

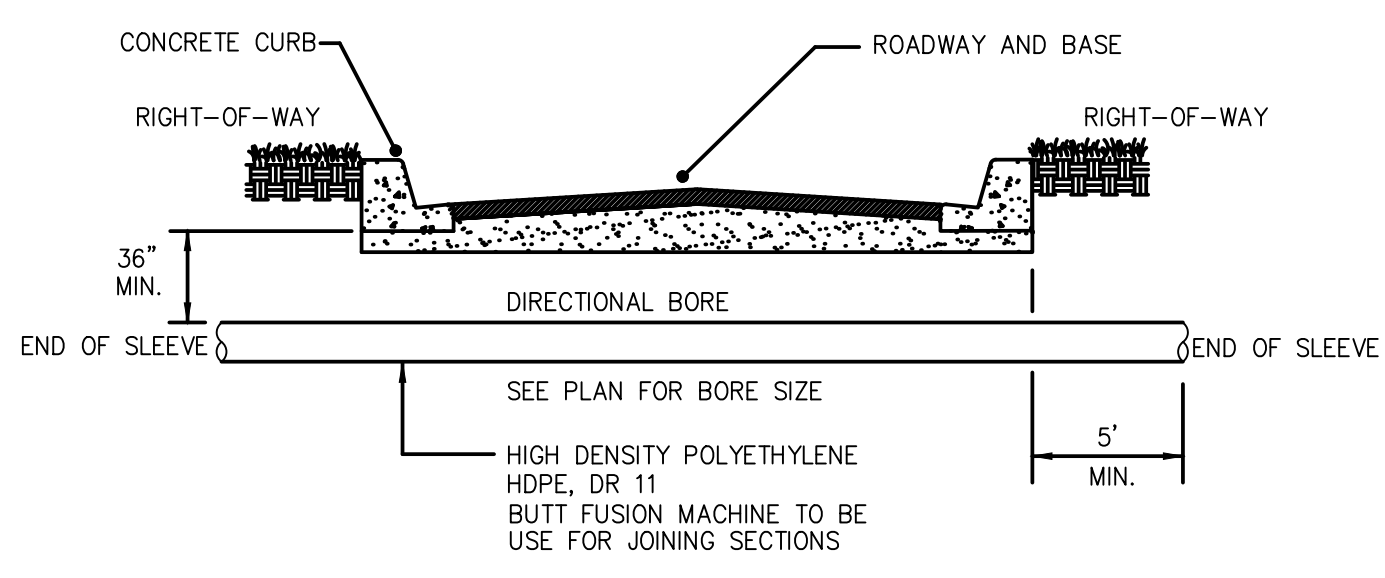
ASSEMBLY SHALL INCLUDE UHF DOME ANTENNA KIT AND 12 STATION TERMINAL SET.

INSTALLATION SHALL INCLUDE ASSEMBLY, HOT TEST (IN SHOP), RADIO PROGRAMMING AND OPTIMIZATION.
- CONTACT

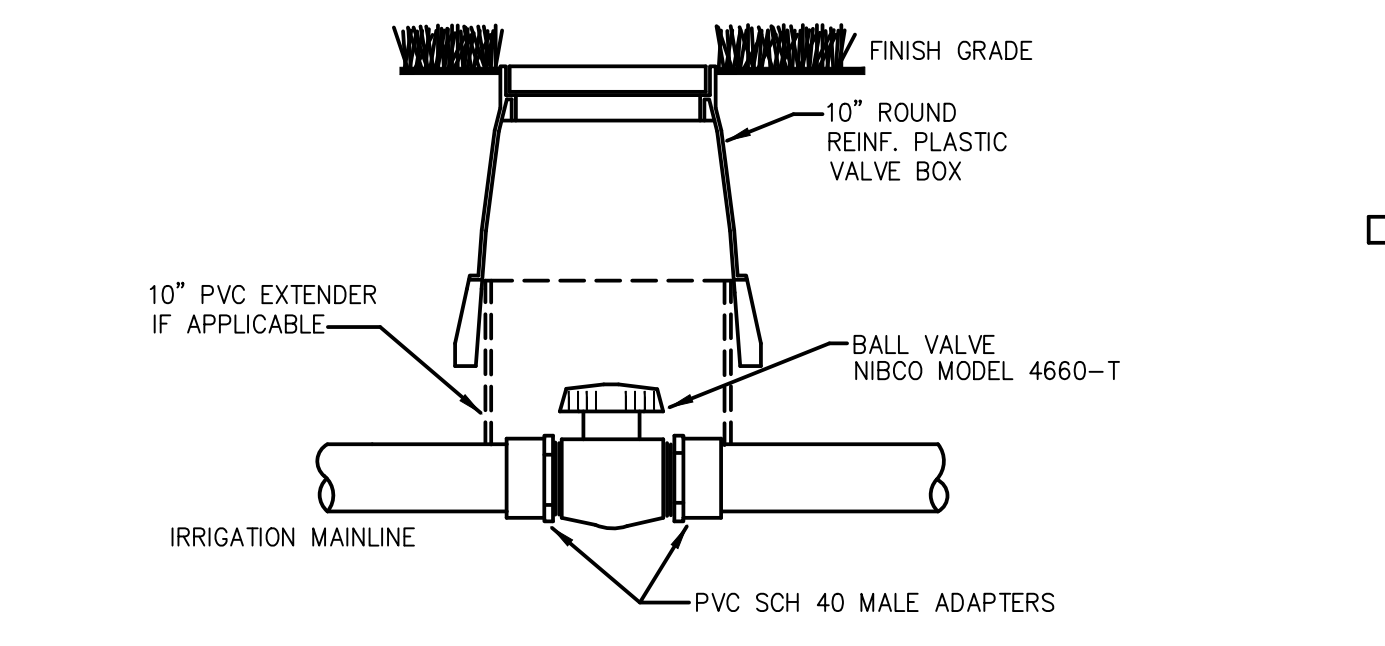
CENTRAL CONTROL SYSTEMS, LTD - MARJIE GIEBEL
PO BOX 8683 WOODLAND, CA 95776-8683
PH 530-662-6841
FAX 530-662-3776
E-MAIL: CCS@CONTROLSYSTEMS.COM

FOR PURCHASE INFORMATION AND TO VERIFY LEAD TIME.
- CONFIRM WITH PARKS AND RECREATION SUPERVISOR PRIOR TO INSTALLATION.

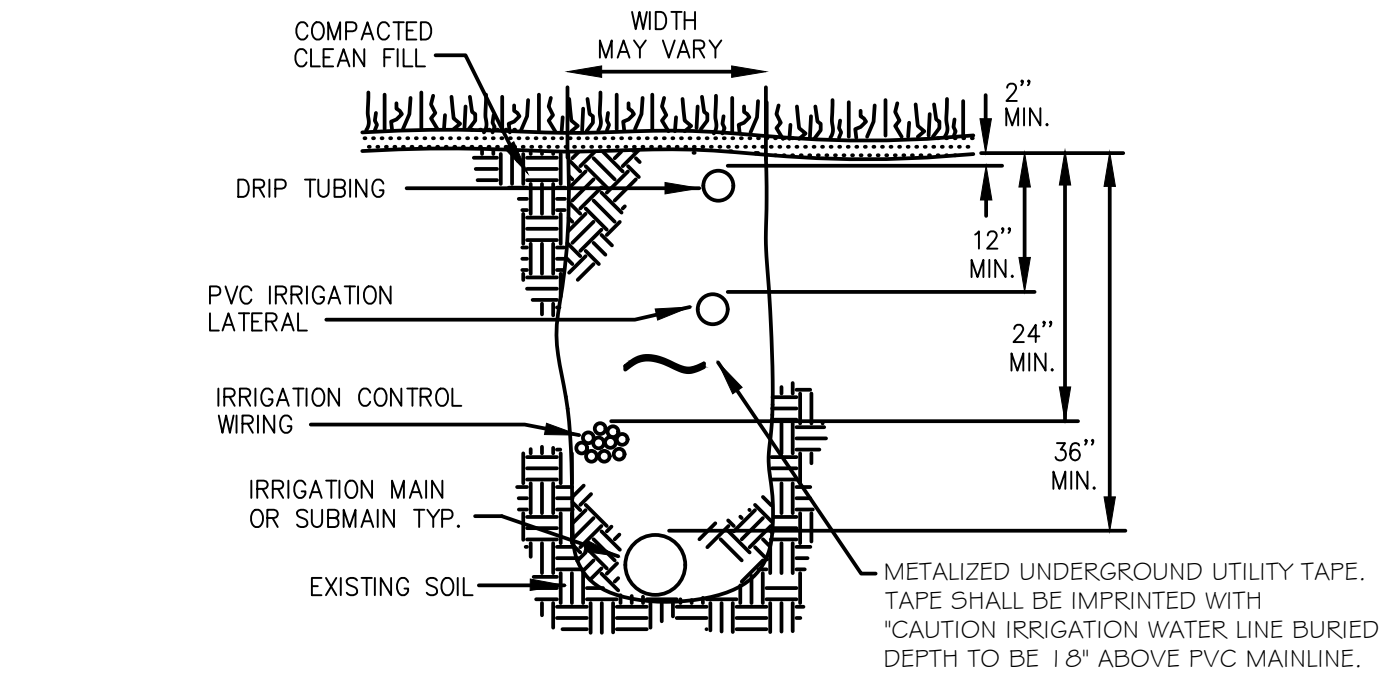
KEN STEAD, SUPERVISOR I
FACILITIES MAINTENANCE, PARKS AND RECREATION DEPT.
CELL: (813) 690-7111
EMAIL: KEN.STEAD@TAMPA.GOV
- ALL WIRES NOT UNDER MAINLINE TO BE IN CONDUIT AND LOOSE.
- WIRES BURIED UNDER MAINLINE ARE TO BE BUNDLED AND TAPED AT 20 FOOT INTERVALS.
- CONTRACTOR TO SUPPLY AND INSTALL CONTROLLER, AND LABEL WIRES. CITY TO MAKE ALL WIRE CONNECTIONS. CONTACT IRRIGATION SUPERVISOR TO COORDINATE.
- SPRAY NOZZLES MUST BE ADJUSTED AS NECESSARY TO PREVENT SPRAY ONTO BUILDING AND/OR HARDSCAPE SURFACES.



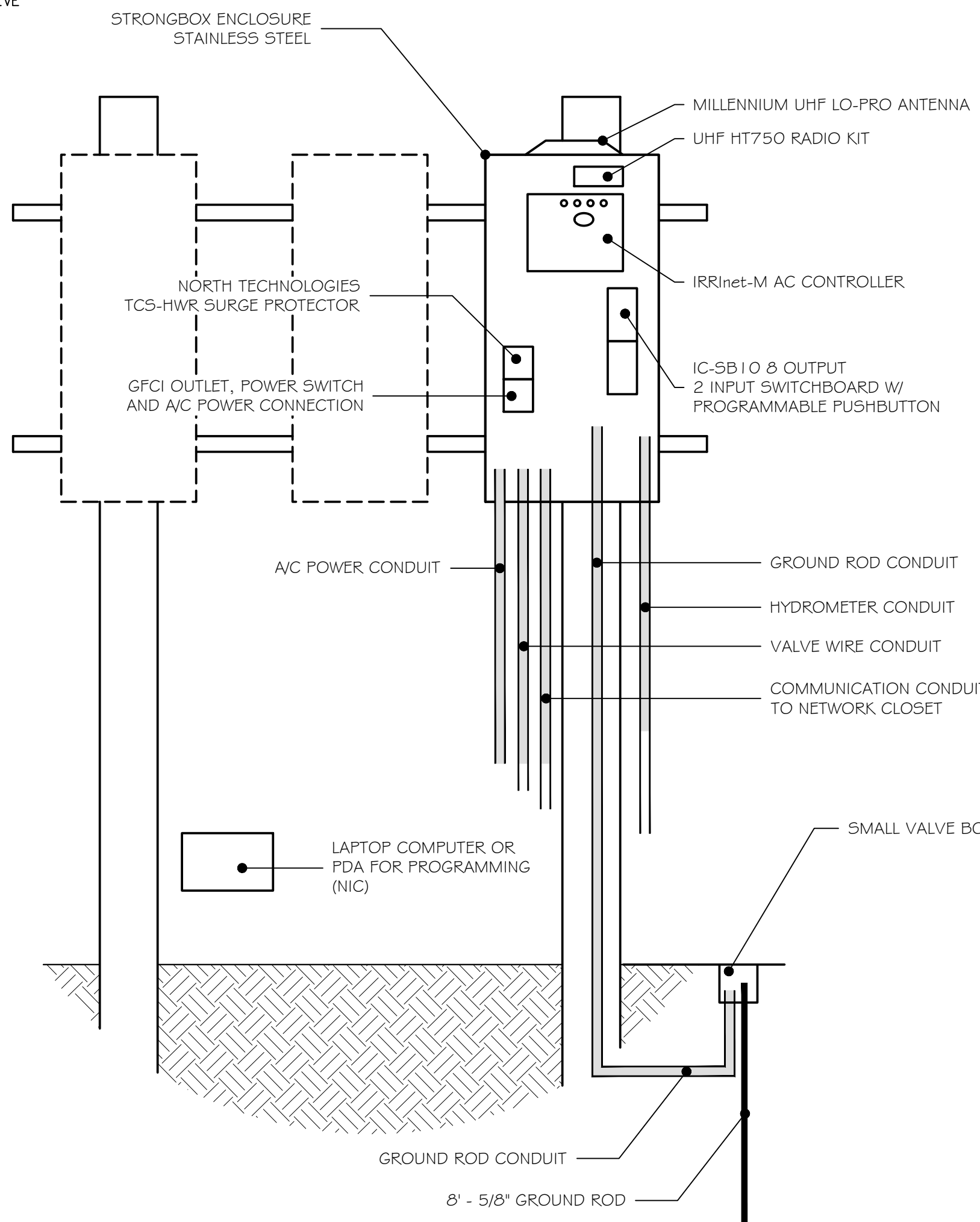
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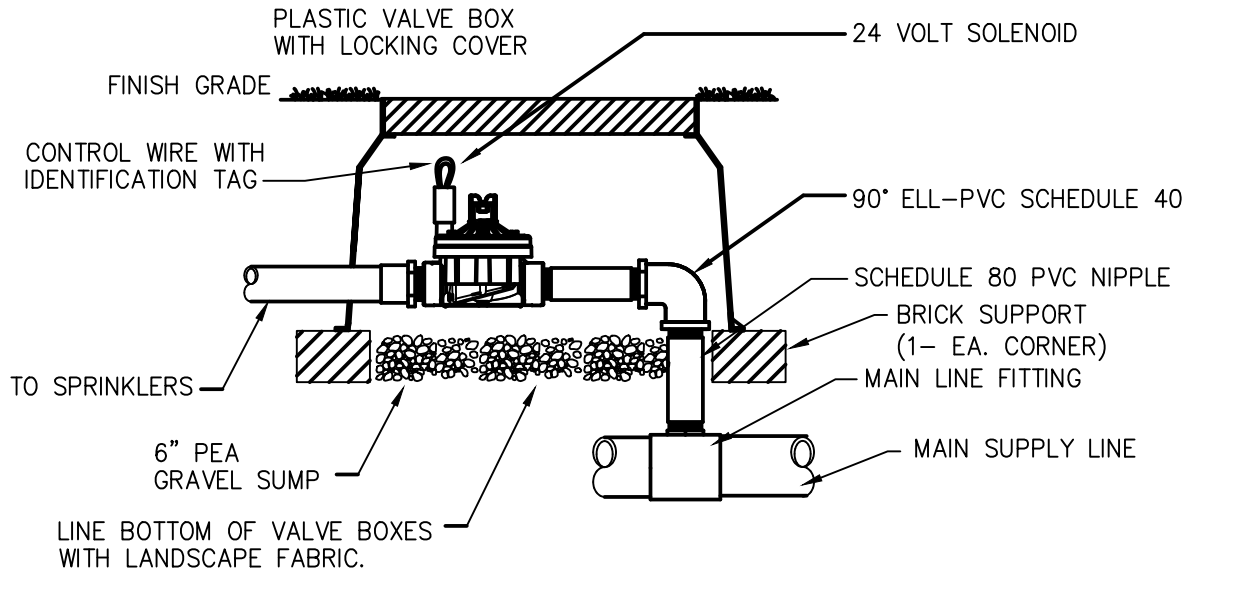
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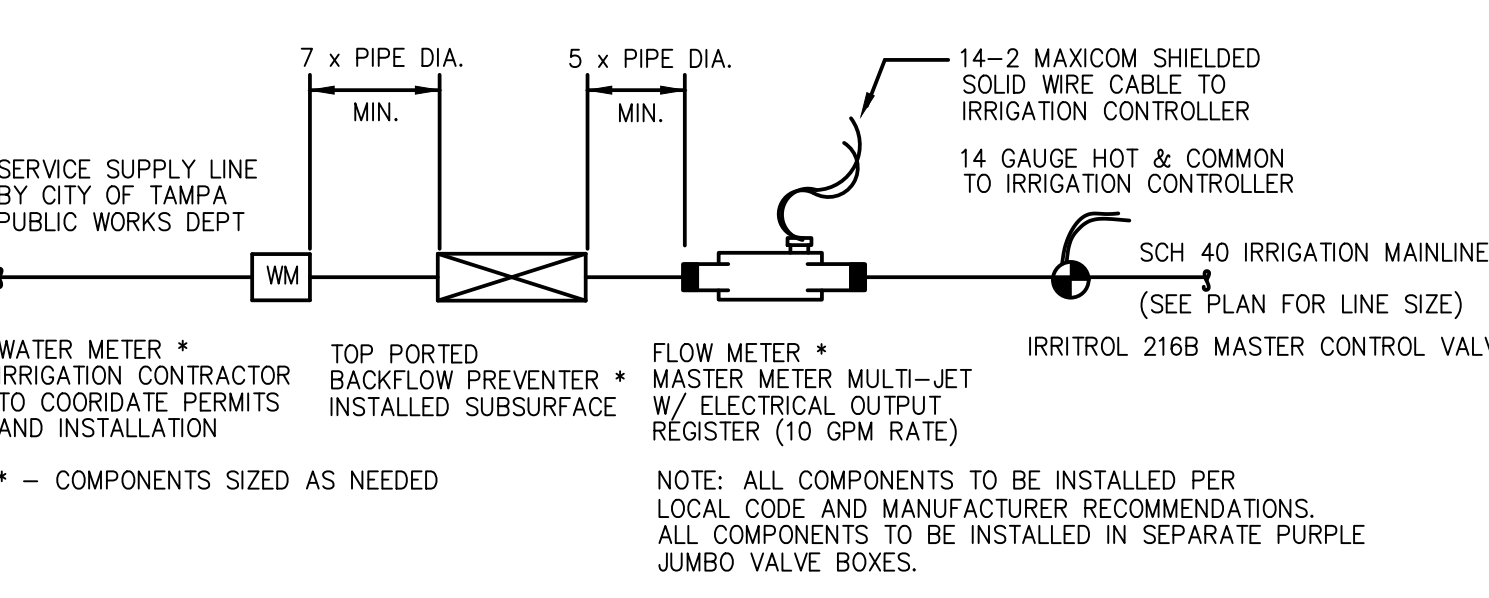
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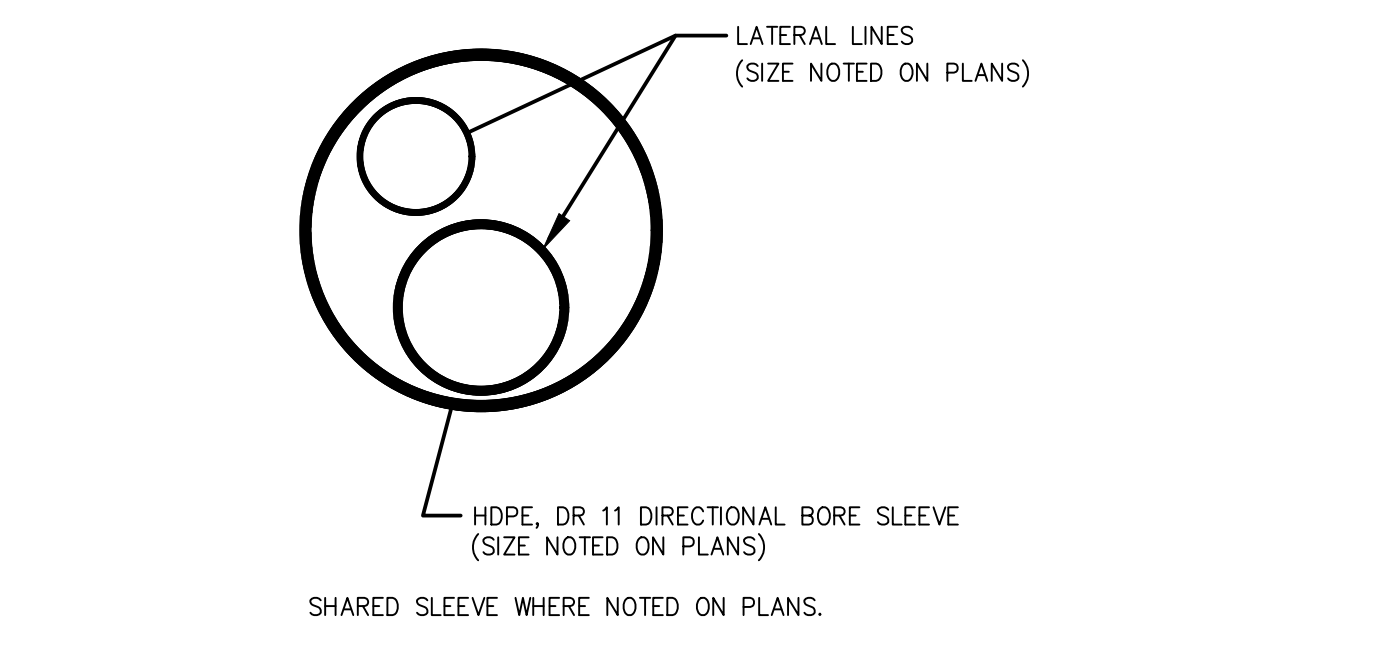
6 IRRInet-M AC CONTROLLER
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SCALE: 1/2" = 1'-0"



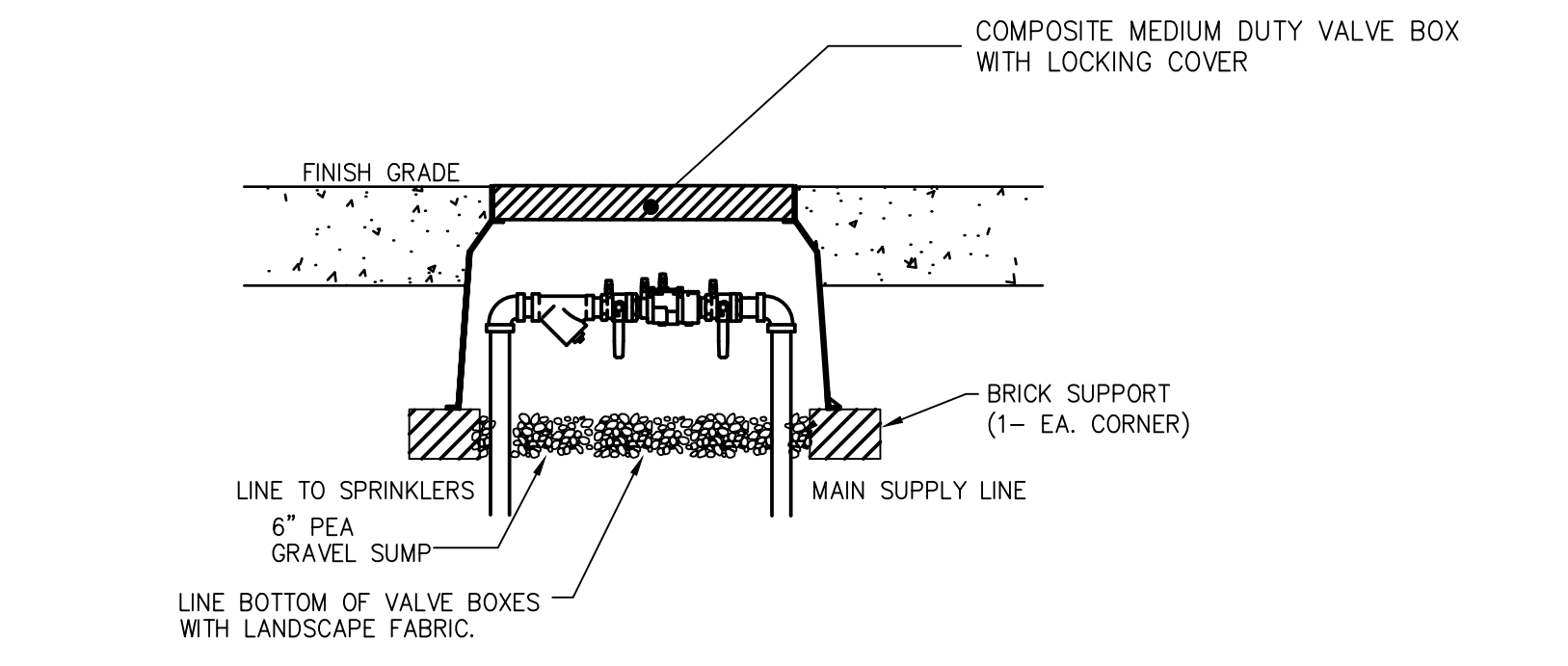
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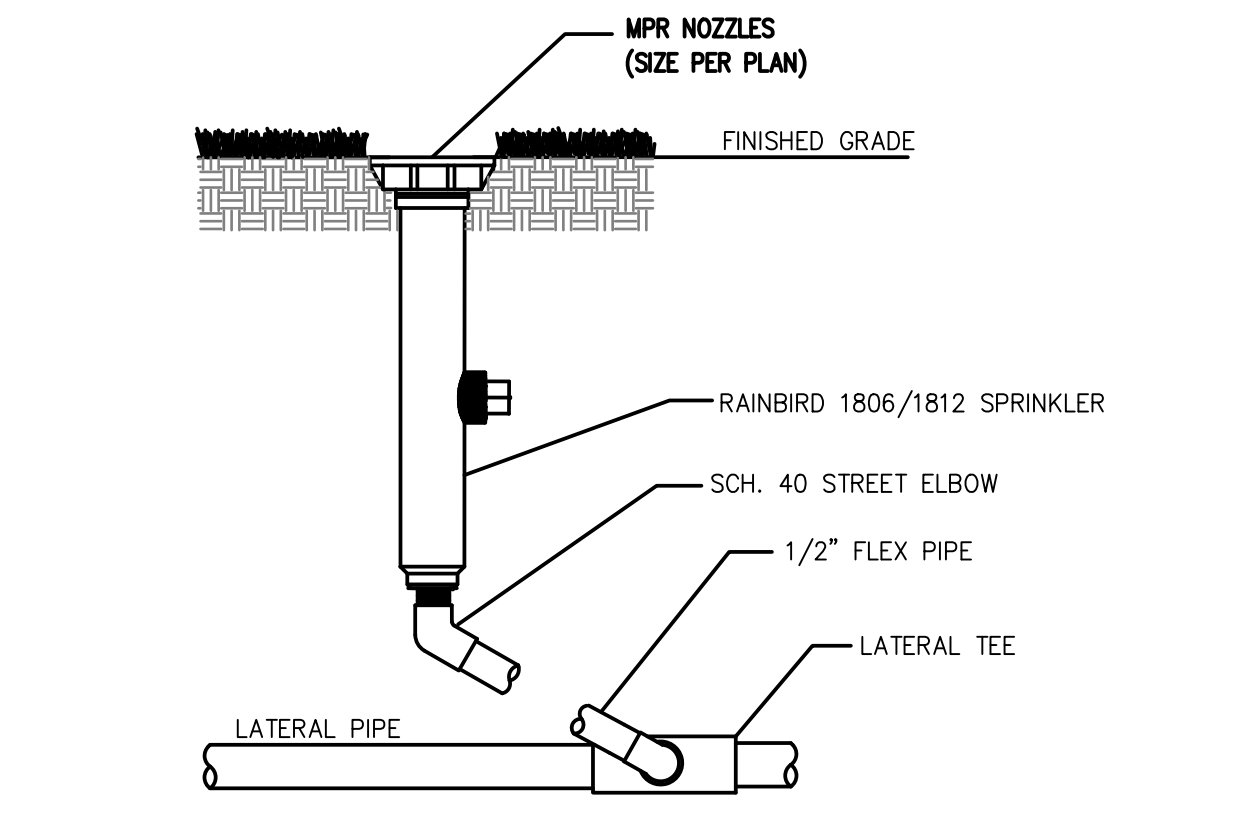
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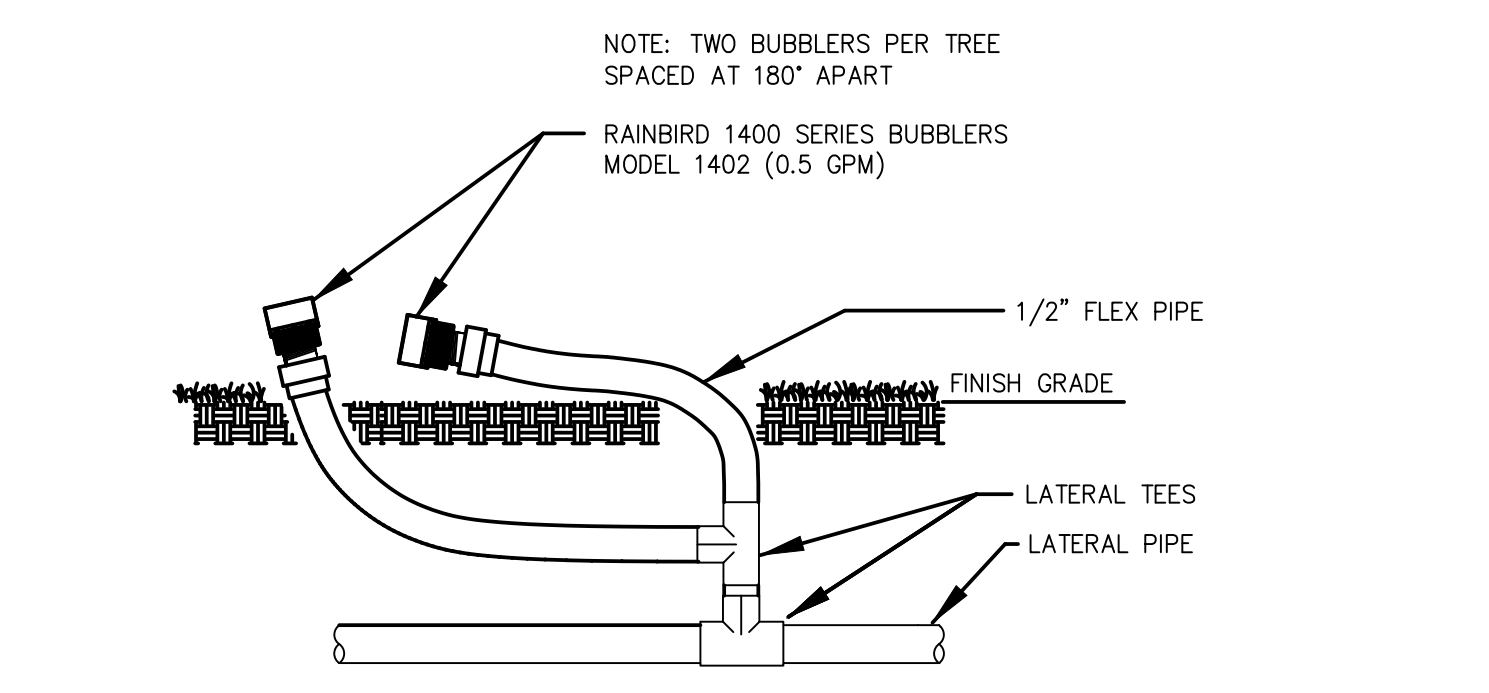
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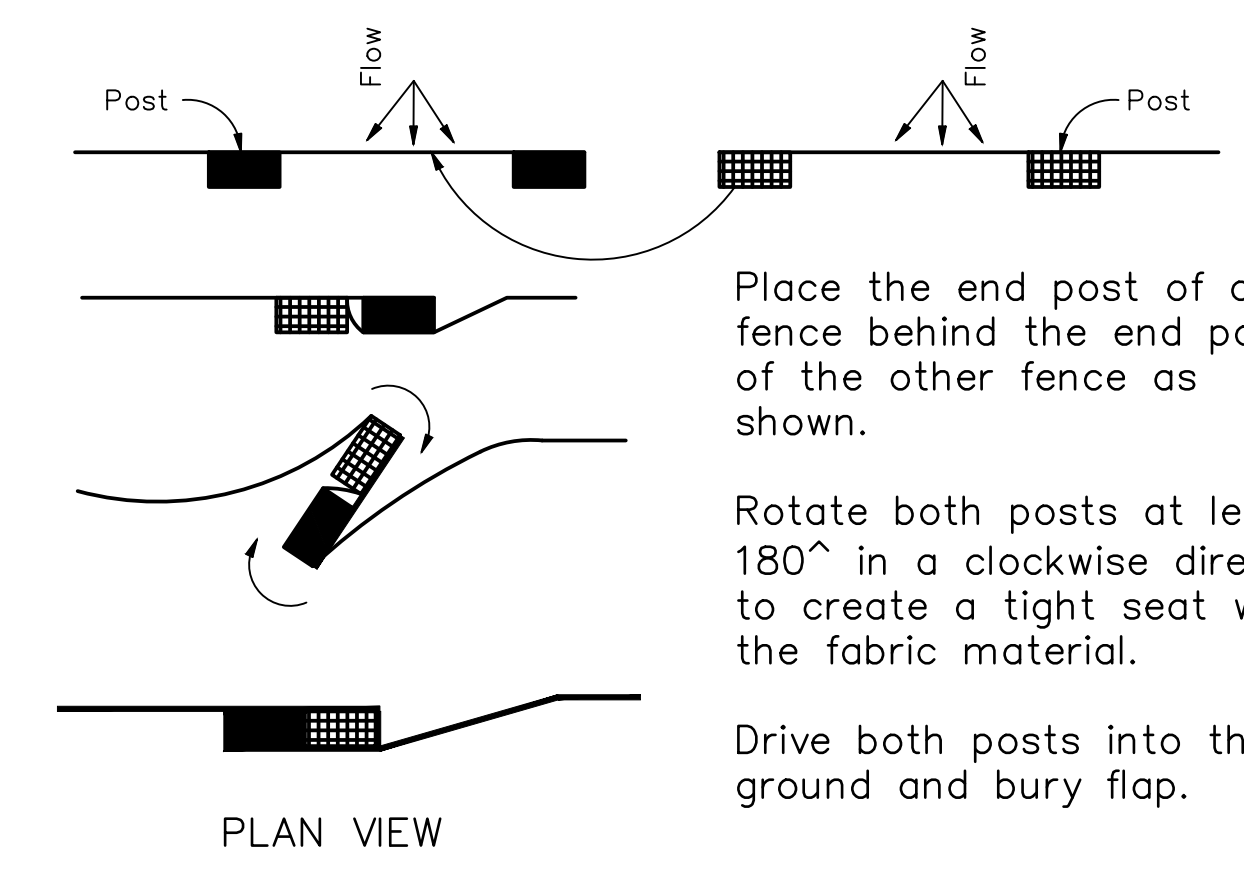
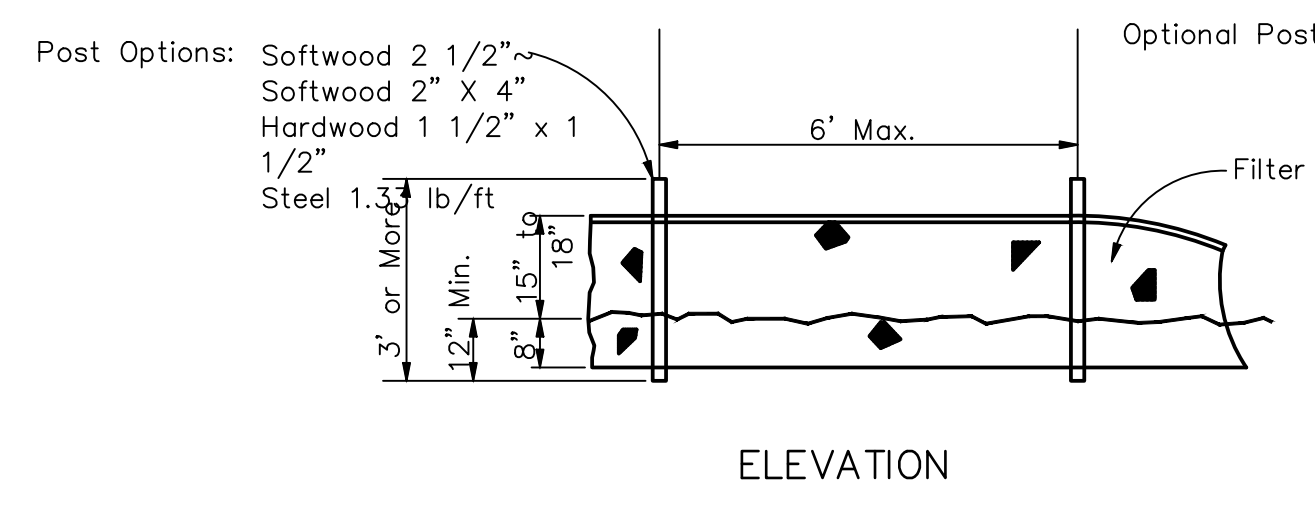
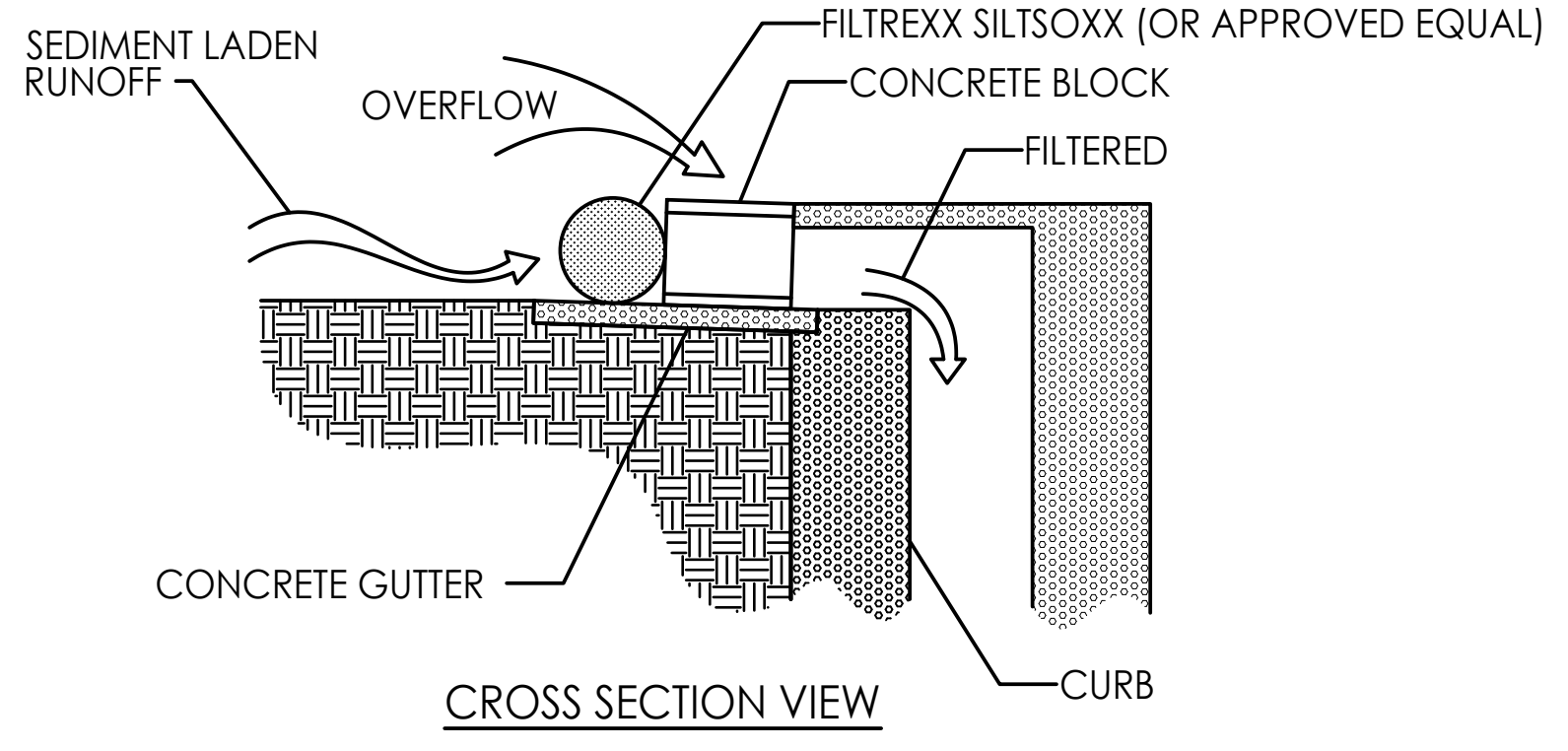
5 TYPICAL SUBSURFACE BACKFLOW PREVENTOR
LI501



7 RAINBIRD 1800 SPRINKLER
LI501



9 RAINBIRD 1400 SERIES BUBBLER
LI501



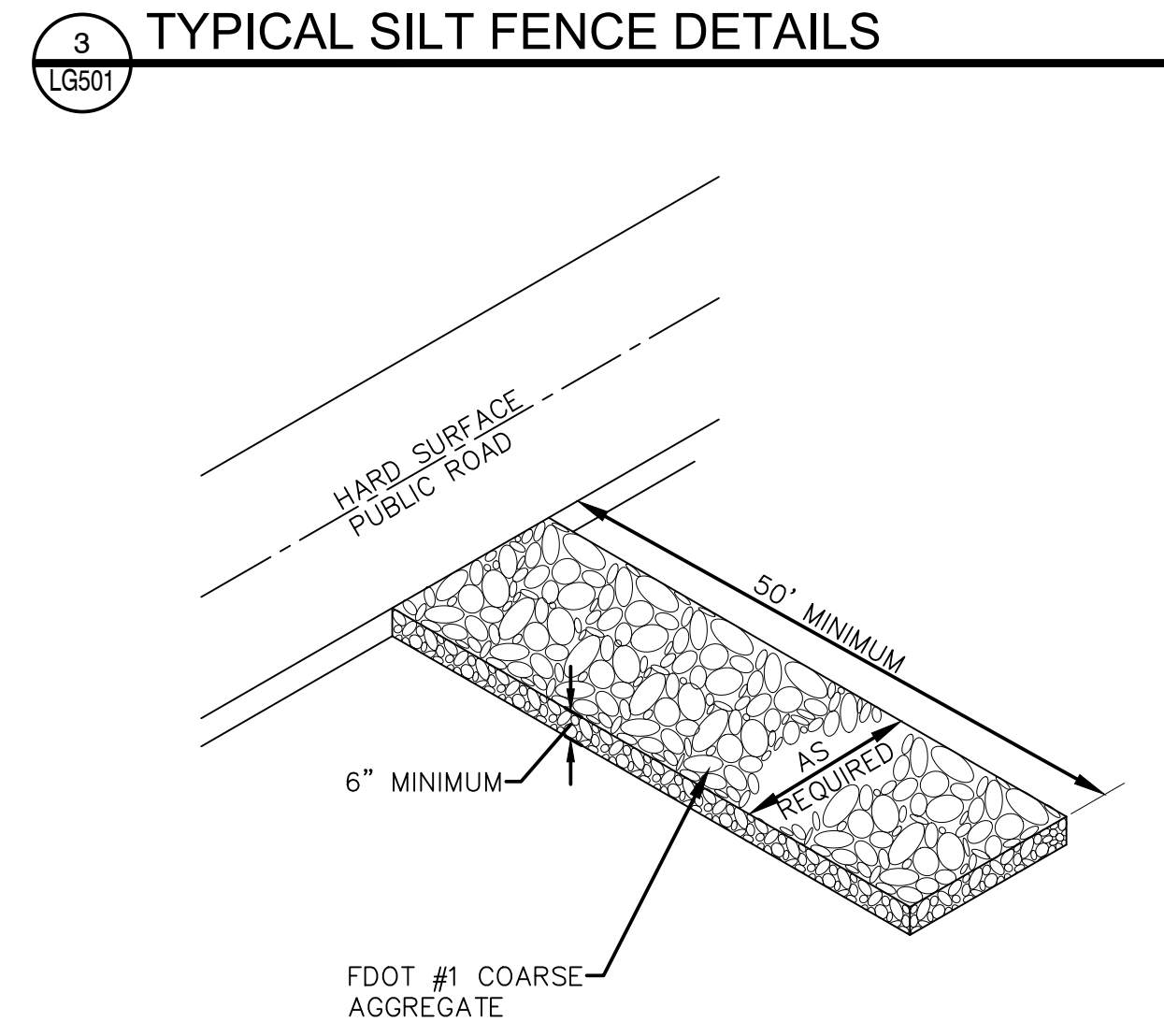
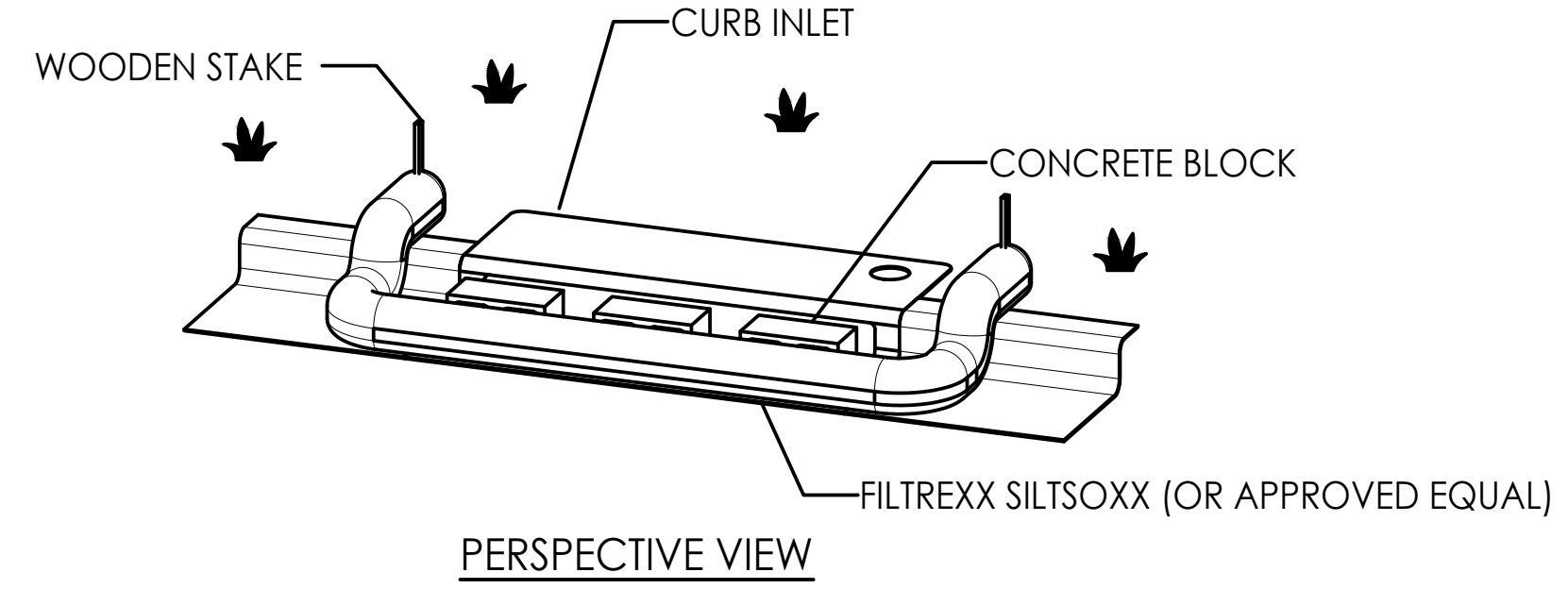
Place the end post of one fence behind the end post of the other fence as shown.

Rotate both posts at least 180° in a clockwise direction to create a tight seat with the fabric material.

Drive both posts into the ground and bury flap.

TYPE III SILT FENCE

JOINING TWO SILT FENCES



GRAVEL CONSTRUCTION ENTRANCE
N.T.S.

CONSTRUCTION ENTRANCE NOTES

DEFINITION
A STONE STABILIZED PAD LOCATED AT POINTS OF VEHICULAR INGRESS AND EGRESS ON A CONSTRUCTION SITE.

PURPOSE
TO REDUCE THE AMOUNT OF SEDIMENT TRANSPORTED ONTO PUBLIC ROADS BY MOTOR VEHICLES OR RUNOFF.

CONDITIONS WHERE PRACTICE APPLIES
WHEREVER TRAFFIC WILL BE LEAVING A CONSTRUCTION SITE AND MOVES DIRECTLY ONTO A PUBLIC ROAD OR OTHER PAVED AREA.

PLANNING CONSIDERATIONS
CONSTRUCTION ENTRANCES PROVIDE AN AREA WHERE MUD CAN BE REMOVED FROM CONSTRUCTION VEHICLE TIRES BEFORE THEY ENTER A PUBLIC ROAD. IF THE ACTION OF THE VEHICLE TRAVELING OVER THE GRAVEL PAD IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF THE MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLE ENTERS A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF-SITE. CONSTRUCTION ENTRANCES SHOULD BE USED IN CONJUNCTION WITH THE STABILIZATION OF CONSTRUCTION ROADS TO REDUCE THE AMOUNT OF MUD PICKED UP BY CONSTRUCTION VEHICLES.

DESIGN CRITERIA
AGGREGATE SIZE - FDOT AGGREGATE NO. 1 (1.5 - 3.5 INCH STONE) SHOULD BE USED.

ENTRANCE DIMENSIONS
AGGREGATE LAYER MUST BE AT LEAST 6 INCHES THICK. IT MUST EXTEND THE FULL WIDTH OF THE VEHICULAR INGRESS AND EGRESS AREA. THE LENGTH OF THE ENTRANCE MUST BE AT LEAST 50 FEET. (SEE DETAIL).

WASHING
IF CONDITIONS OF THE SITE ARE SUCH THAT THE MAJORITY OF THE MUD IS NOT REMOVED BY THE VEHICLES TRAVELING OVER THE GRAVEL, THEN THE TIRES OF THE VEHICLES MUST BE WASHED BEFORE ENTERING A PUBLIC ROAD. WASH WATER MUST BE CARRIED AWAY FROM THE ENTRANCE TO A SETTLING AREA TO REMOVE SEDIMENT. A WASH RACK MAY ALSO BE USED TO MAKE WASHING MORE CONVENIENT AND EFFECTIVE. SEE DETAIL.

LOCATION THE ENTRANCE SHOULD BE LOCATED TO PROVIDE FOR MAXIMUM UTILITY BY ALL CONSTRUCTION VEHICLES. INDICATE PROPOSED LOCATION OF GRAVEL CONSTRUCTION ENTRANCE ON THE GRADING PLAN.

CONSTRUCTION SPECIFICATIONS
THE AREA OF THE ENTRANCE SHOULD BE CLEARED OF ALL VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL. THE GRAVEL SHALL BE PLACED TO THE SPECIFIED DIMENSIONS. ANY DRAINAGE FACILITIES REQUIRED BECAUSE OF WASHING SHOULD BE CONSTRUCTED ACCORDING TO SPECIFICATIONS. IF WASH RACKS ARE USED, THEY SHOULD BE CONSTRUCTED ACCORDING TO SPECIFICATIONS. IF WASH RACKS ARE TO MANUFACTURER'S SPECIFICATIONS.

MAINTENANCE
THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OF FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH 2-INCH STONE, AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY STRUCTURES USED TO TRAP SEDIMENT. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.

NOTES

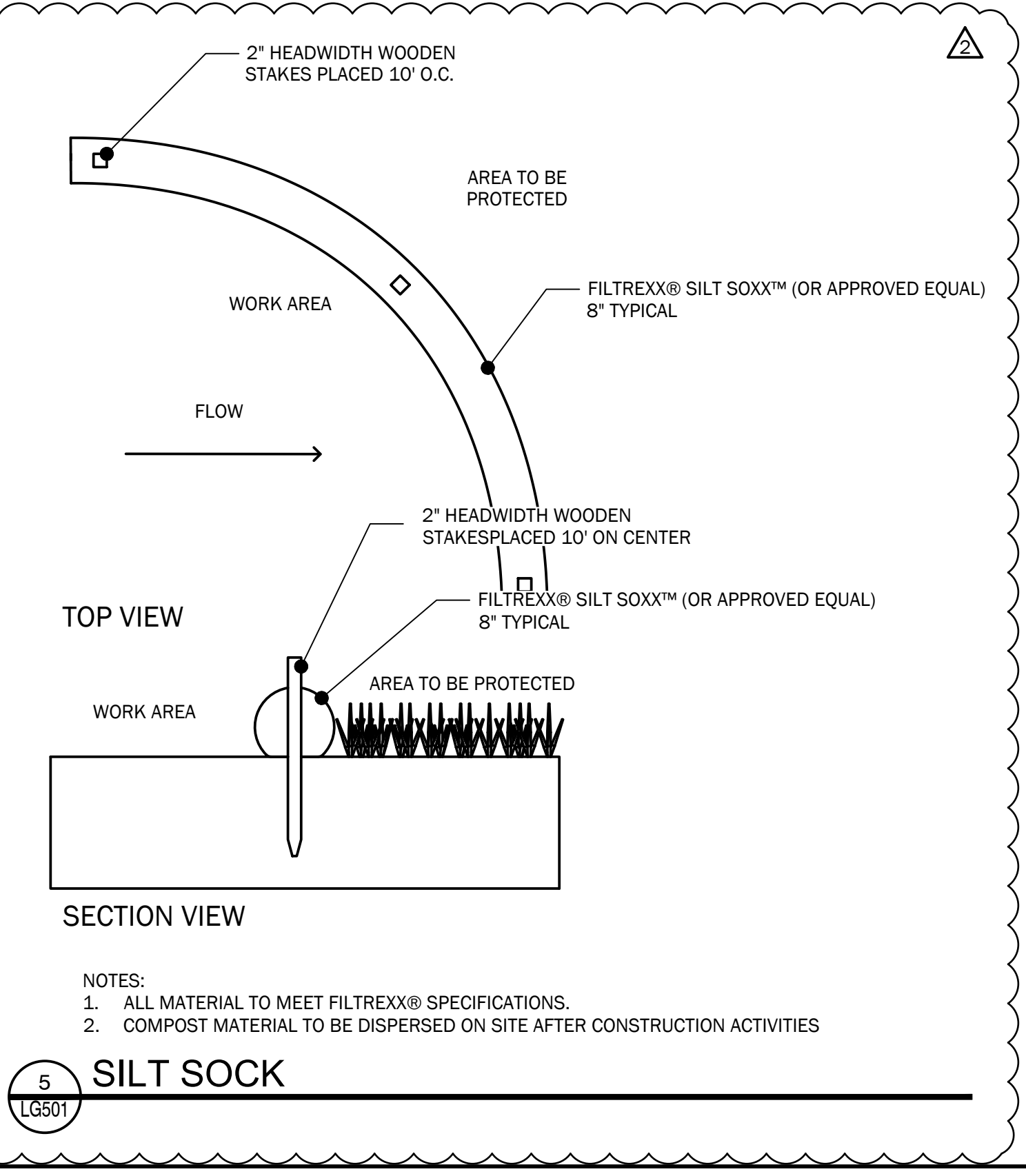
- THE BASIS OF DESIGN IS FILTREXX SILTISOXX, manufactured by Filtrexx International / SWM International. Substitutions may be allowed if pre-approved in writing by the owner. Install per manufacturer's recommendations and details.
- INSTALL FILTREXX SILTISOXX (OR APPROVED EQUAL) IN FRONT OF CURB OPENING TO A MINIMUM OF 12" BEYOND THE OPENING, EACH SIDE.
 - ANCHOR THE FILTREXX SILTISOXX (OR APPROVED EQUAL) BEHIND THE CURB WITH A WOODEN STAKE. STAKES SHALL BE ANCHORED A MINIMUM OF 12" INTO SOIL.
 - STANDARD INLET PROTECTION FOR CURB INLET PROTECTION AND CURB SEDIMENT CONTAINMENT WILL USE 8" DIAMETER INLET PROTECTION.
 - DURING CURB INSTALLATION, INLET PROTECTION SHALL BE COMPACTED TO BE SLIGHTLY SHORTER THAN CURB HEIGHT.
 - IF INLET PROTECTION BECOMES CLOGGED WITH DEBRIS AND SEDIMENT, THEY SHALL BE MAINTAINED SO AS TO ASSURE PROPER DRAINAGE AND WATER FLOW INTO THE STORM DRAIN.
 - IN SEVERE STORM EVENTS, OVERFLOW OF THE INLET PROTECTION MAY BE ACCEPTABLE TO KEEP THE AREA FROM FLOODING.
 - CURB AND DRAIN INLET PROTECTION SHALL BE POSITIONED SO AS TO PROVIDE A PERMEABLE PHYSICAL BARRIER TO THE DRAIN ITSELF, ALLOWING SEDIMENT TO COLLECT ON THE OUTSIDE OF THE INLET PROTECTION. CONCRETE BLOCKS SHALL BE USED A SPACER TO KEEP THE FILTREXX SILTISOXX FROM BLOCKING THE CURB OPENING.
 - CONCRETE BLOCKS SHALL BE USED AT BOTH ENDS OF THE OPENING AND EVERY 4'.

1 CURB INLET PROTECTION

4 TEMPORARY GRAVEL CONSTRUCTION ENTRANCE

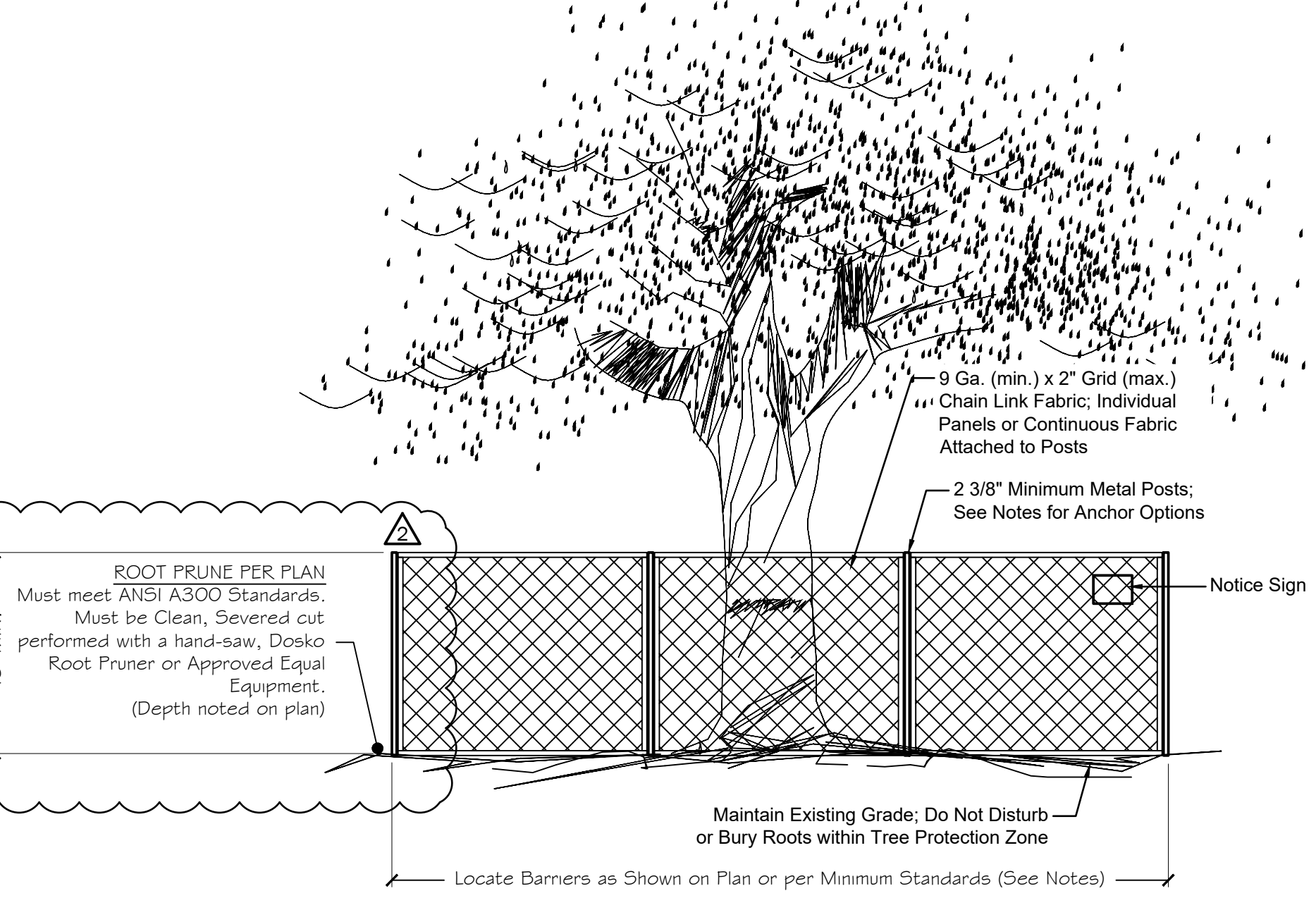
TREE PROTECTION NOTES

- All tree protection shall comply with the City of Tampa Tree and Landscape Technical Manual, latest edition.
- Tree protection shall be inspected by City Representative prior to beginning any other work on site.
- The location of tree protection barricades shall be as shown on the plan. If no plan is provided, then barricades shall be located as follows:
20' from trunk of Grand Trees (> 32" DBH)
15' from trunk of Specimen Trees (24" to 31.9" DBH)
10' from trunk of Protected Trees (5" to 23.9" DBH)
- Do not store equipment, materials or vehicles within the tree protection zone at any time.
- Temporary Chain Link Fence Installation / Anchoring:
5.1. Fence may be panelized or a continuous fabric.
5.2. Panelized fence bases shall be anchored with appropriate weights such as concrete blocks or sand bags.
5.3. Continuous fabric fences can be attached to weighted posts or the posts can be water-jetted into undisturbed ground.
- Maintain tree barricades and project perimeter fencing in safe, serviceable condition for the duration of the project. The City Representative may issue a stop work order if the barriers are absent or nonfunctional.
- No site clearing, grading, or other changes to the predevelopment conditions are permitted within the tree protection zone, other than changes approved by the Natural Resources Coordinator or designee as part of the related permit.
- Tree protection barricades may be removed only to prepare the site for final landscape activities. During this activity, only non-mechanical techniques may occur within the designated tree protective root zone. No alternation(s) of any kind shall be made to any part of the tree (roots, trunk, canopy, crown) other than those approved by the Natural Resources Committee or designee as part of the related permit.
- Sign Requirements
Provide 11"x17" Warning Sign with 2" ht Black Lettering ("KEEP OUT, TREE PROTECTION AREA"). Sign to be waterproof (laminated in plastic). Fasten to fence with zip ties to prevent sagging. Locate one (1) sign every 30' along fence, typ.



5 SILT SOCK

- NOTES:**
- ALL MATERIAL TO MEET FILTREXX® SPECIFICATIONS.
 - COMPOST MATERIAL TO BE DISPERSED ON SITE AFTER CONSTRUCTION ACTIVITIES



2 TREE PROTECTION - CHAIN LINK FENCE

KID MASON CENTER
RENOVATION
EROSION CONTROL DETAILS

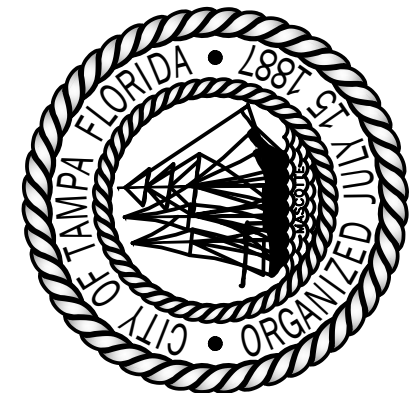


Parks & Recreation
CITY OF TAMPA
Planning and Design
3402 W. Columbus Drive
Tampa, FL 33607



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Approved: CT
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KID MASON CENTER
RENOVATION
PROJECT SHEET
FENCING DETAILS



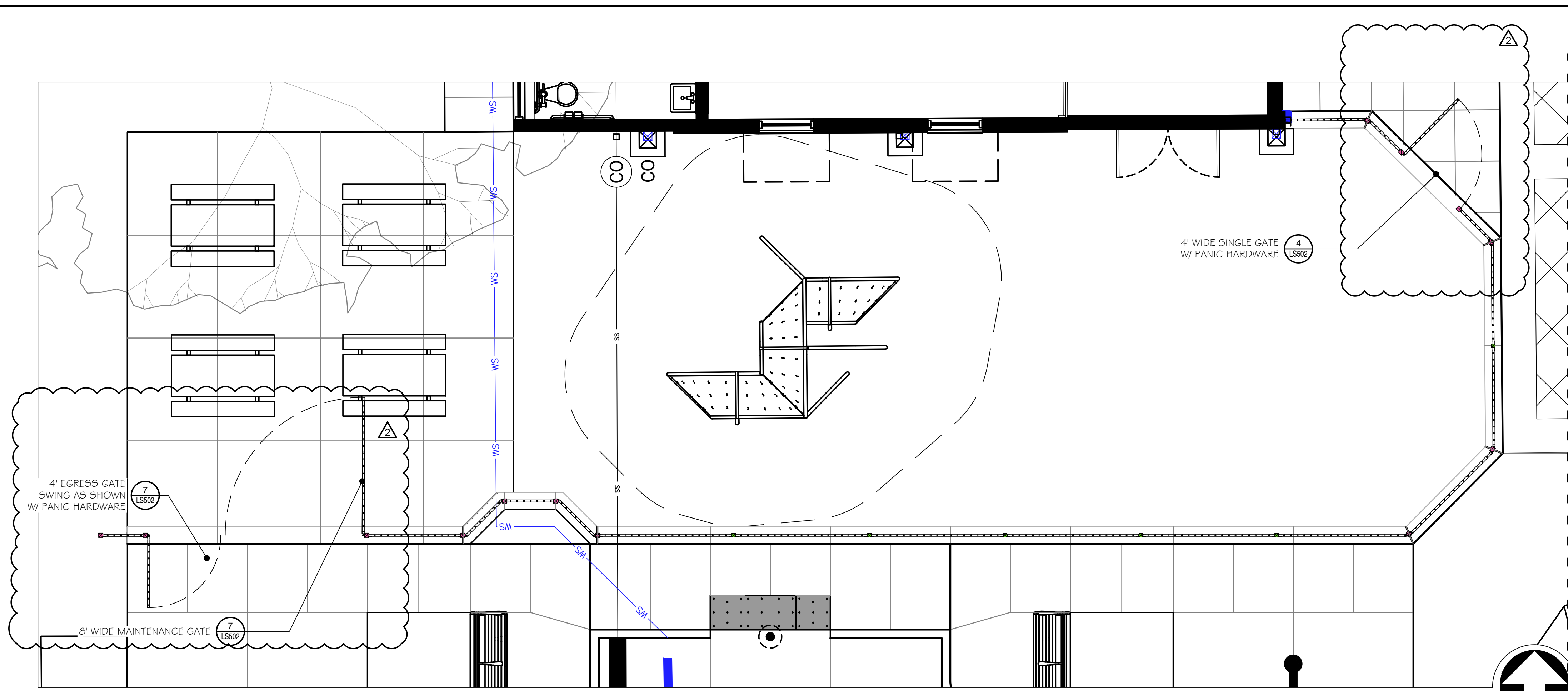
Parks & Recreation
CITY OF TAMPA
Planning and Design
3402 W. Columbus Drive
Tampa, FL 33607



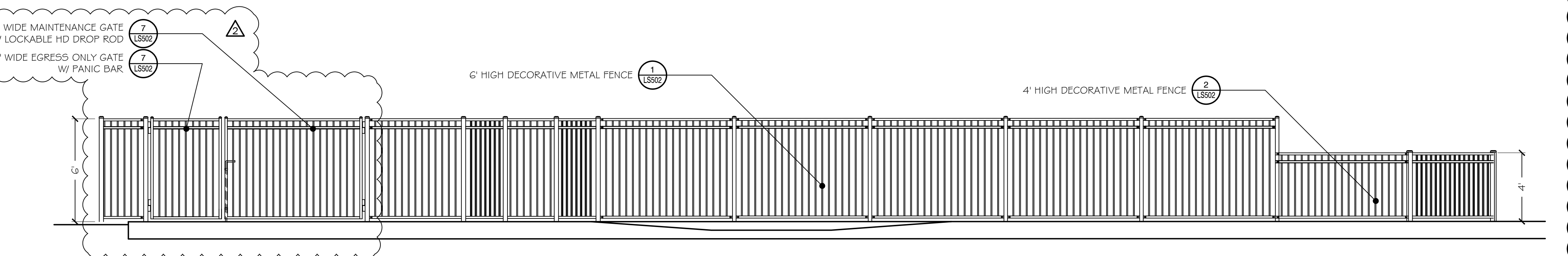
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DIMENSIONAL NOTES:

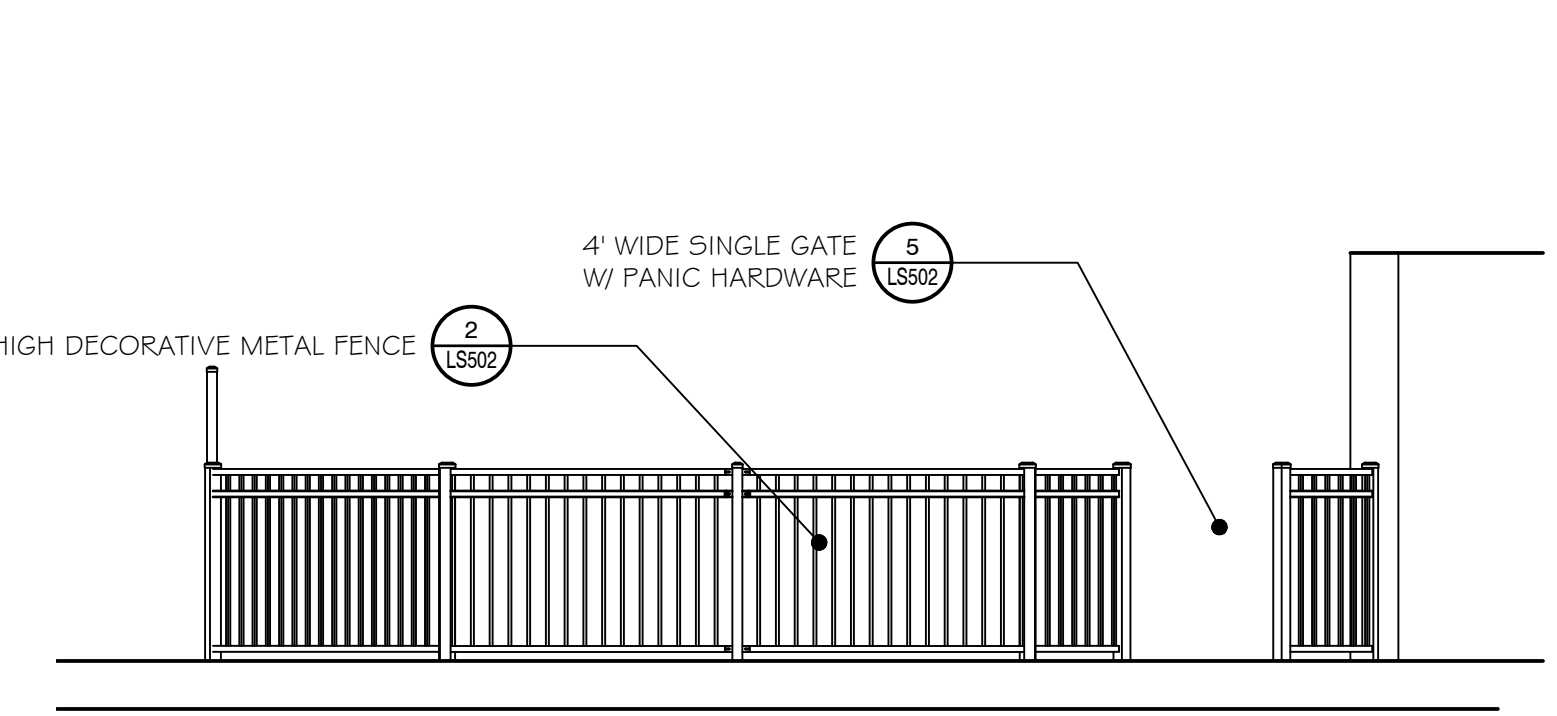
- DIMENSION FROM:
1. CHILLER TO CONCRETE EDGE
 2. RAISED CHILLER PAD TO PROPERTY LINE
 3. CHILLER TO FENCE
 4. CHILLER TO ELECTRIC PANEL
 5. RAISED CHILLER PAD TO BUILDING WALL



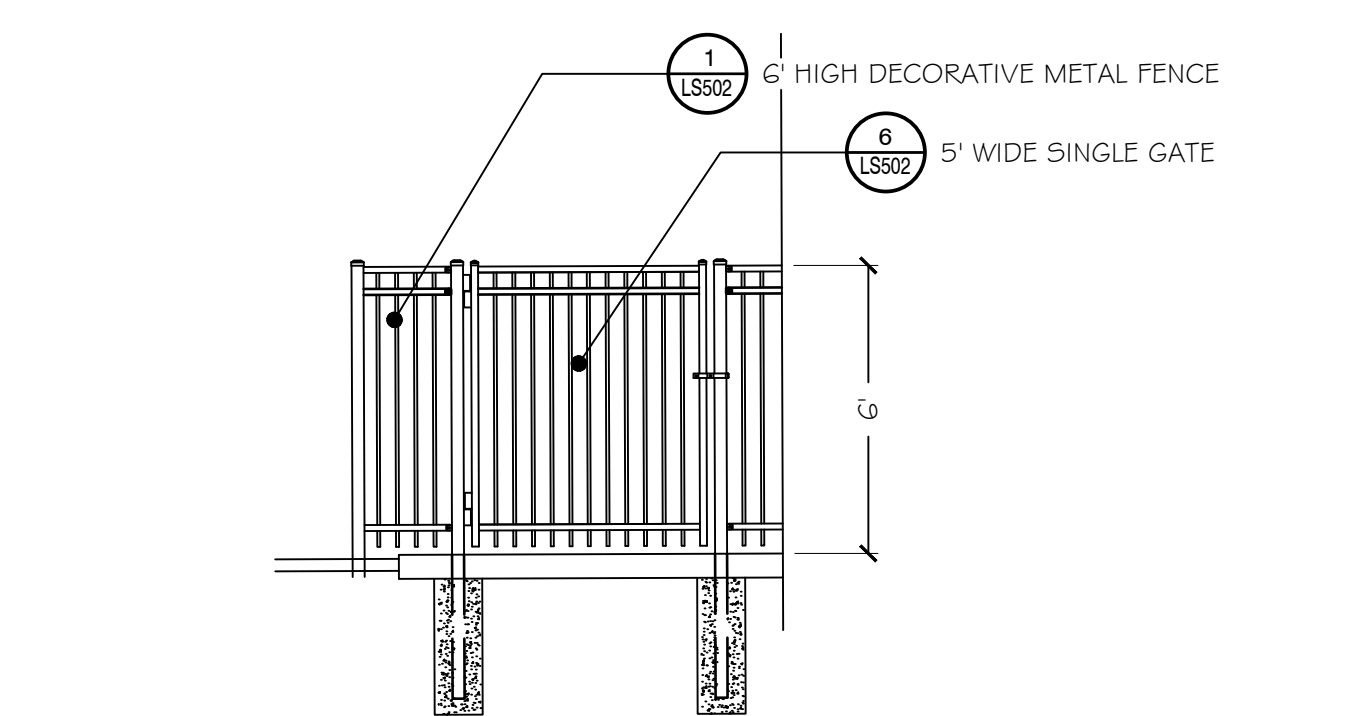
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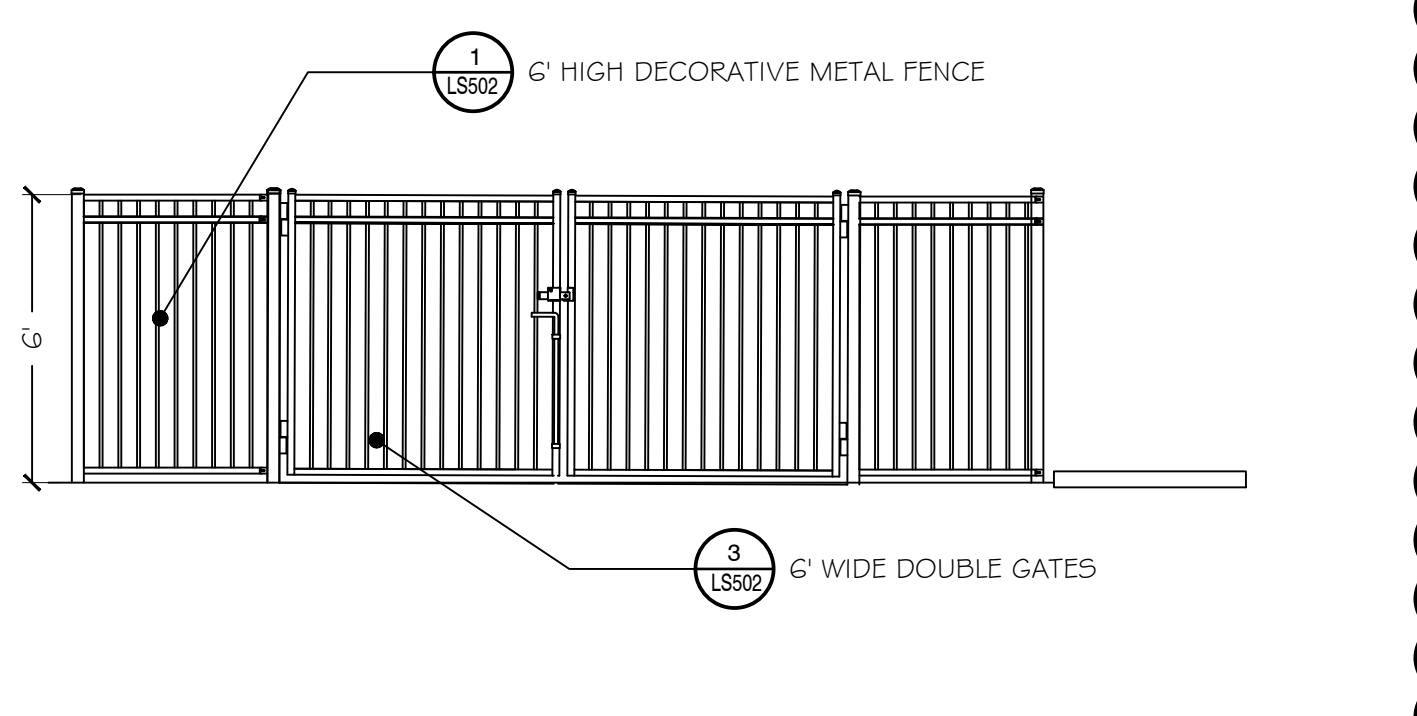
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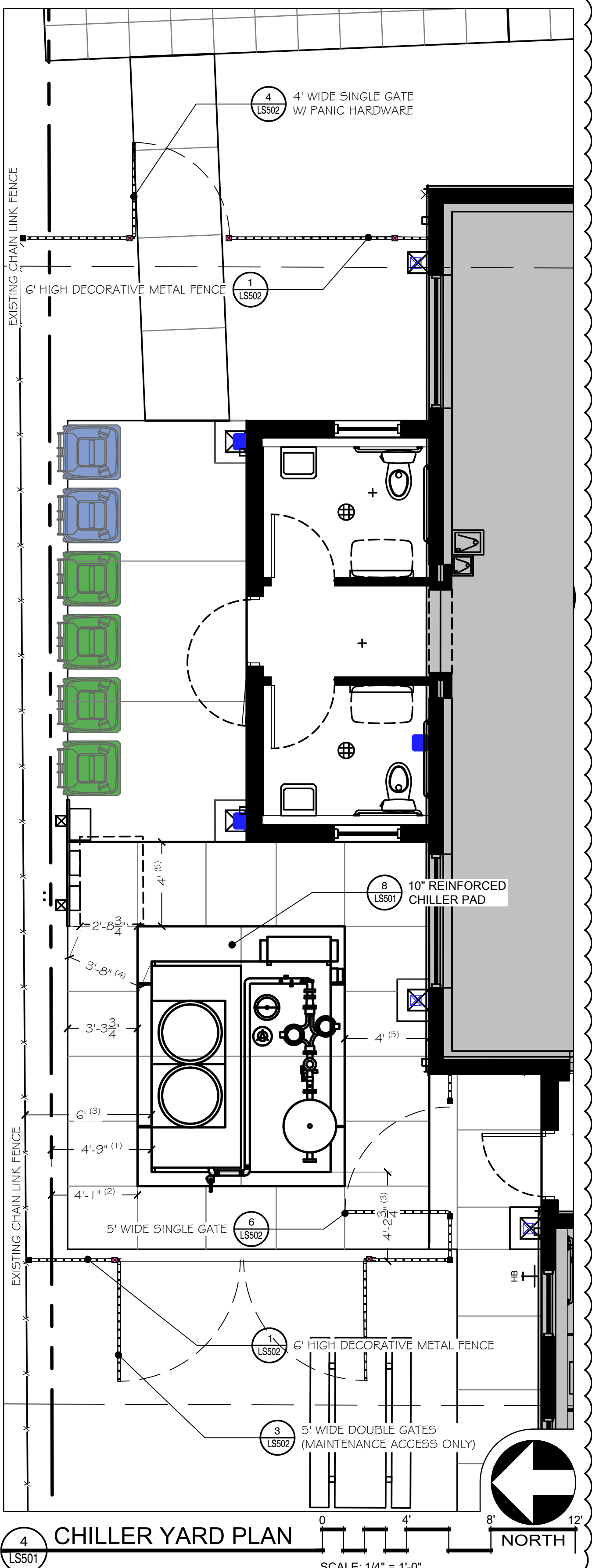
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6 CHILLER YARD SOUTH ELEVATION
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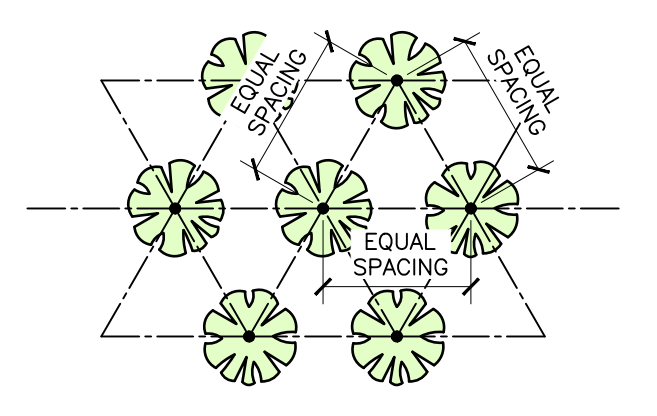
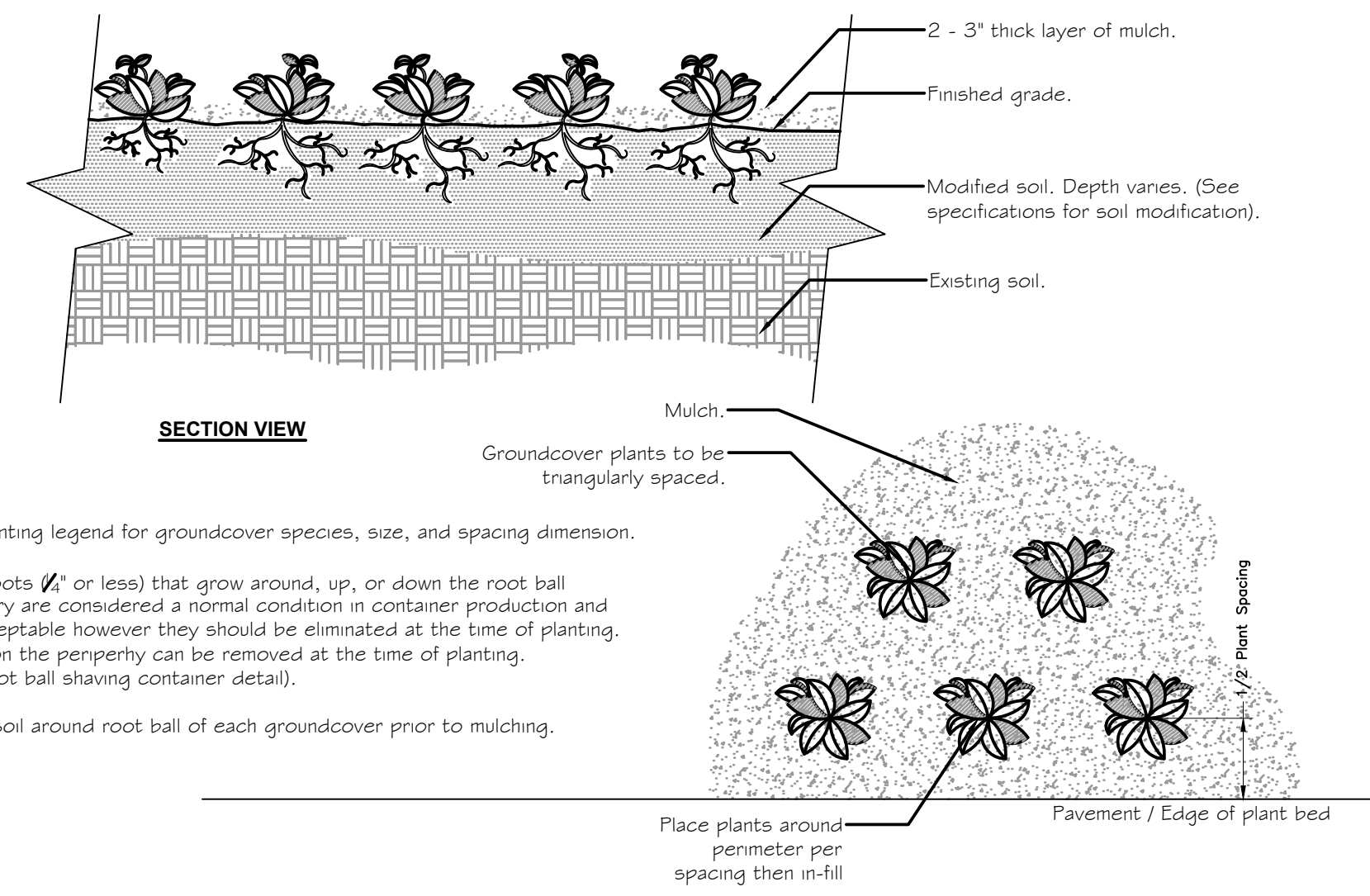
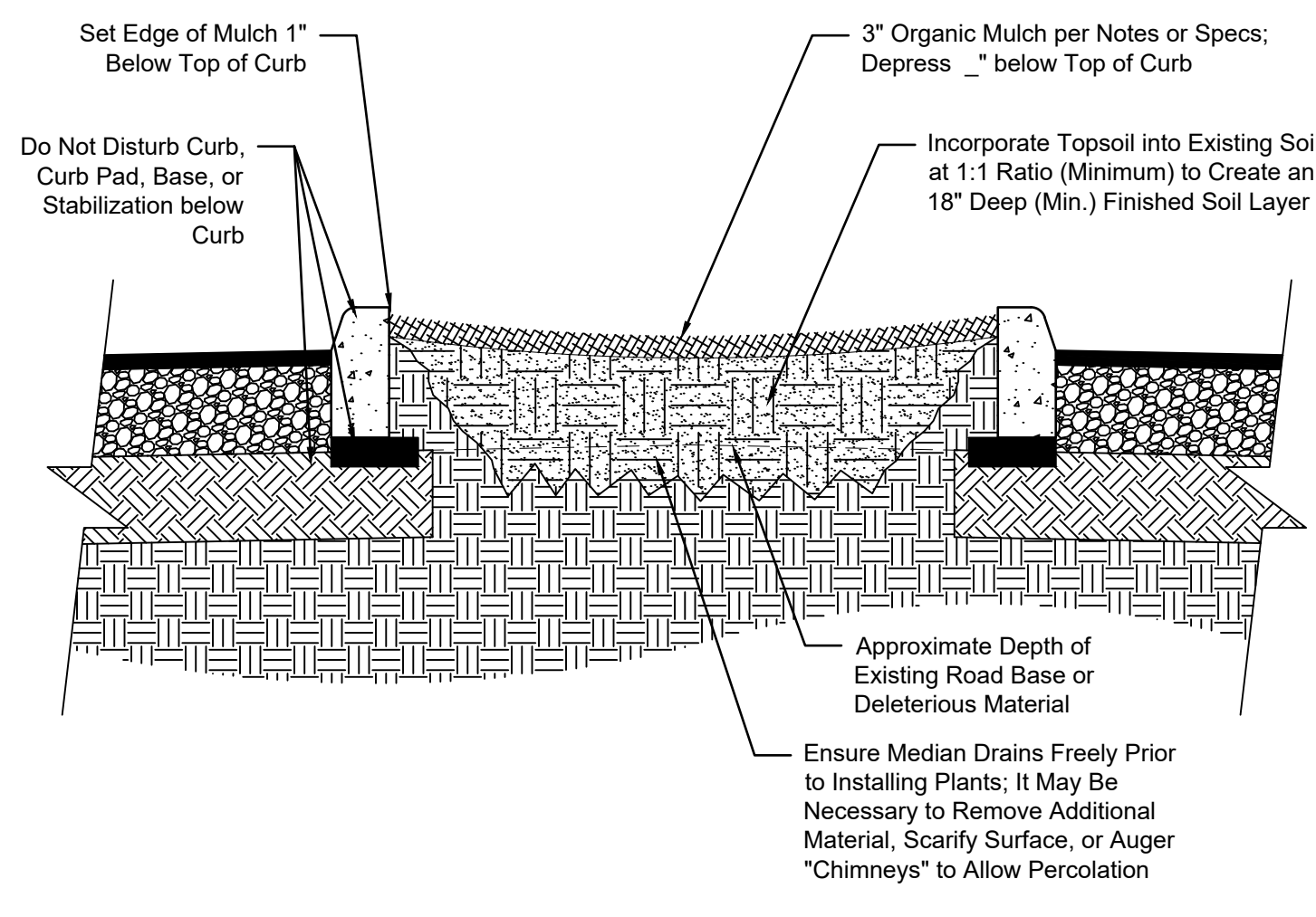
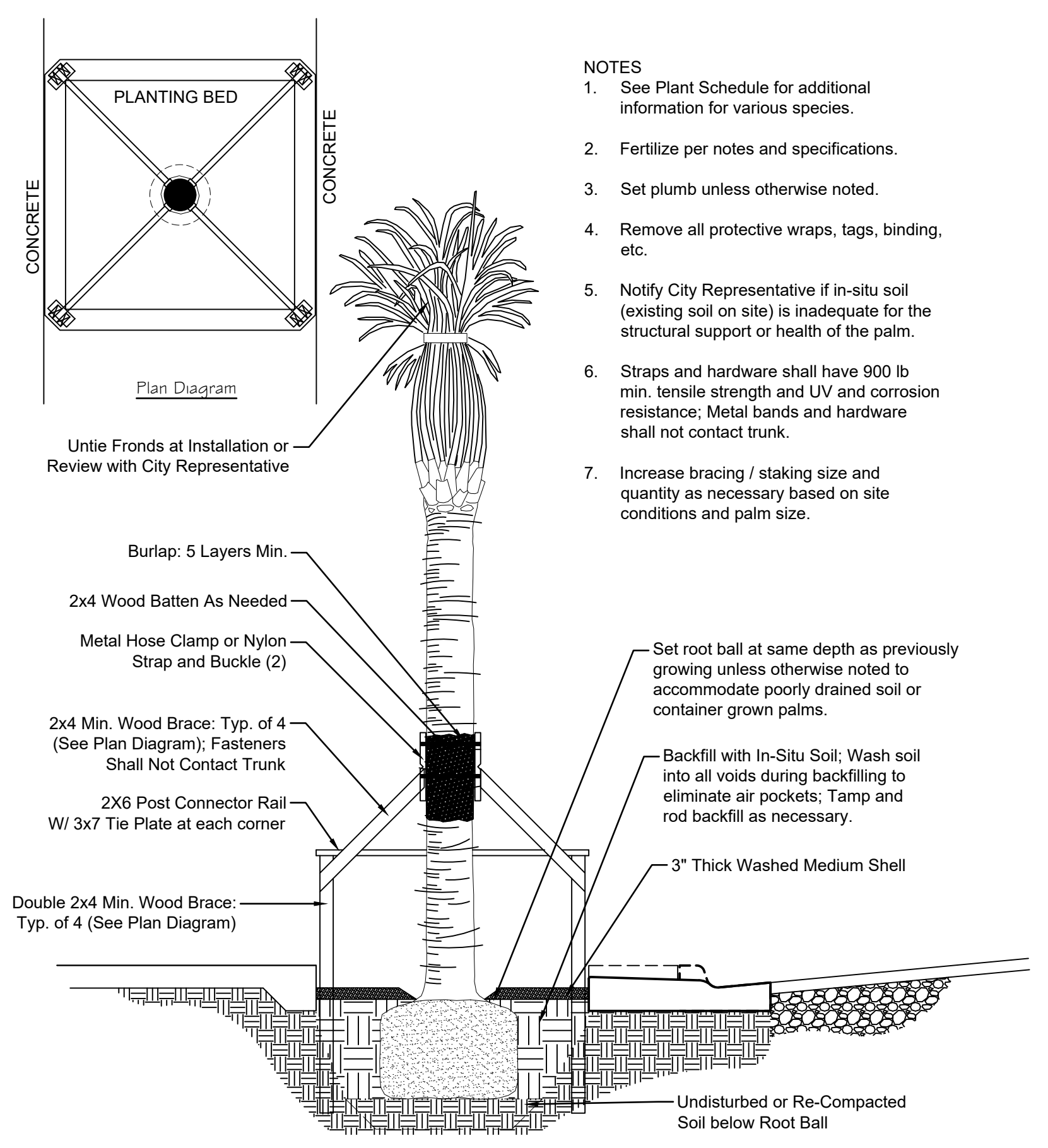
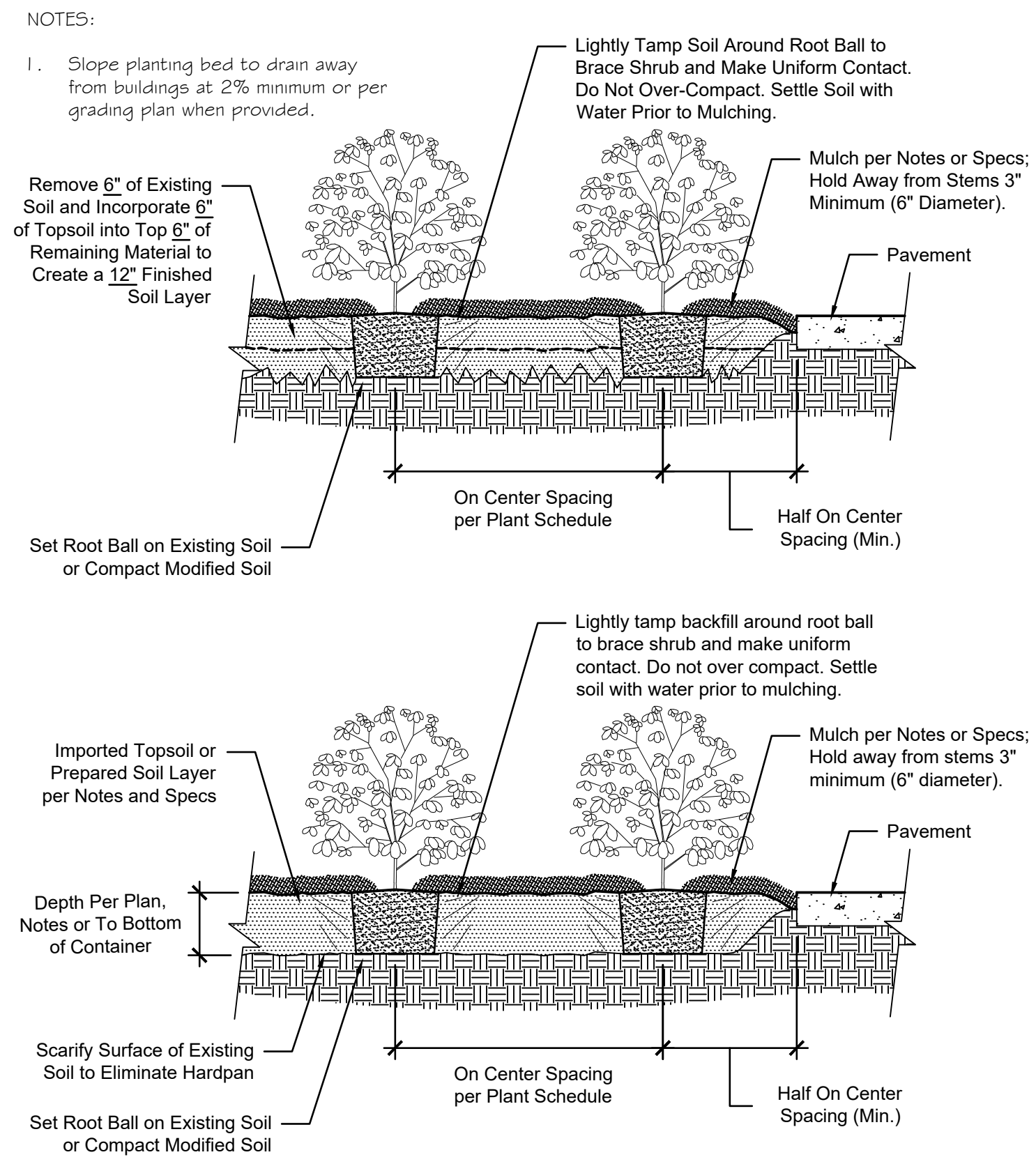
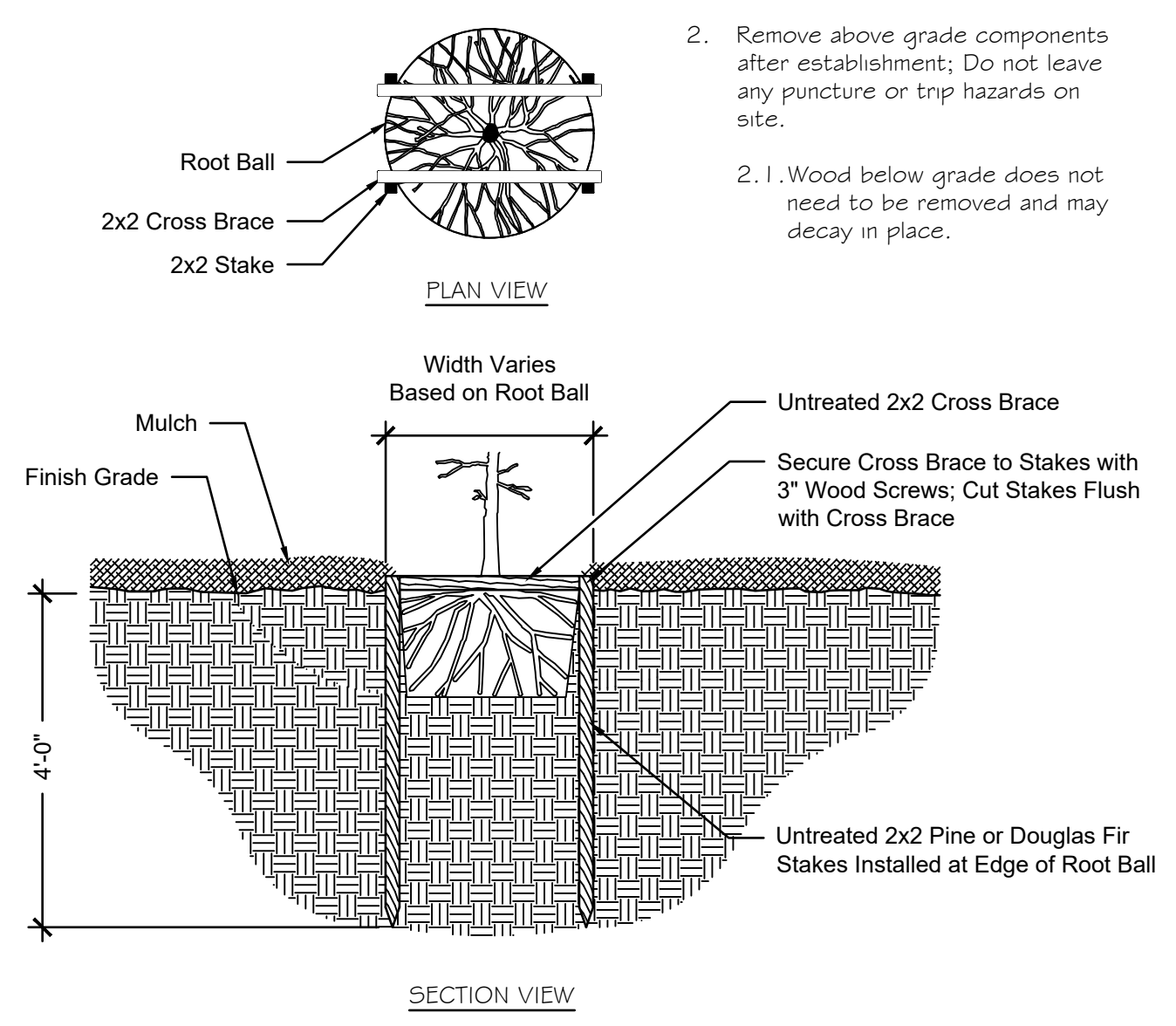
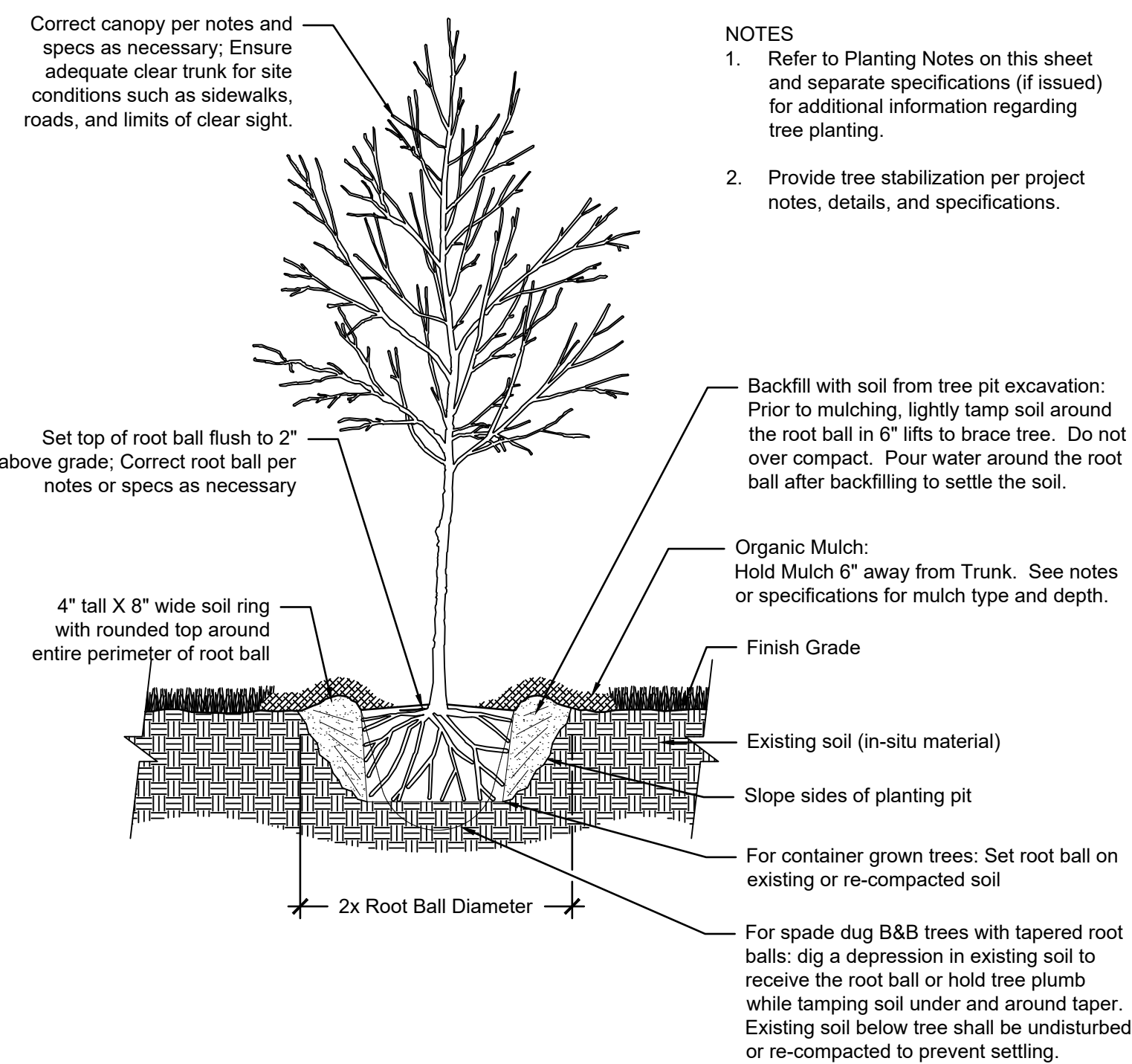


5 CHILLER YARD WEST ELEVATION
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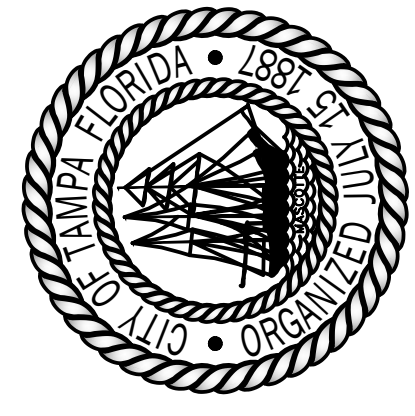
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KID MASON CENTER RENOVATION PLANTING DETAILS



Parks & Recreation CITY OF TAMPA
Planning and Design
3402 W. Columbus Drive
Tampa, FL 33607



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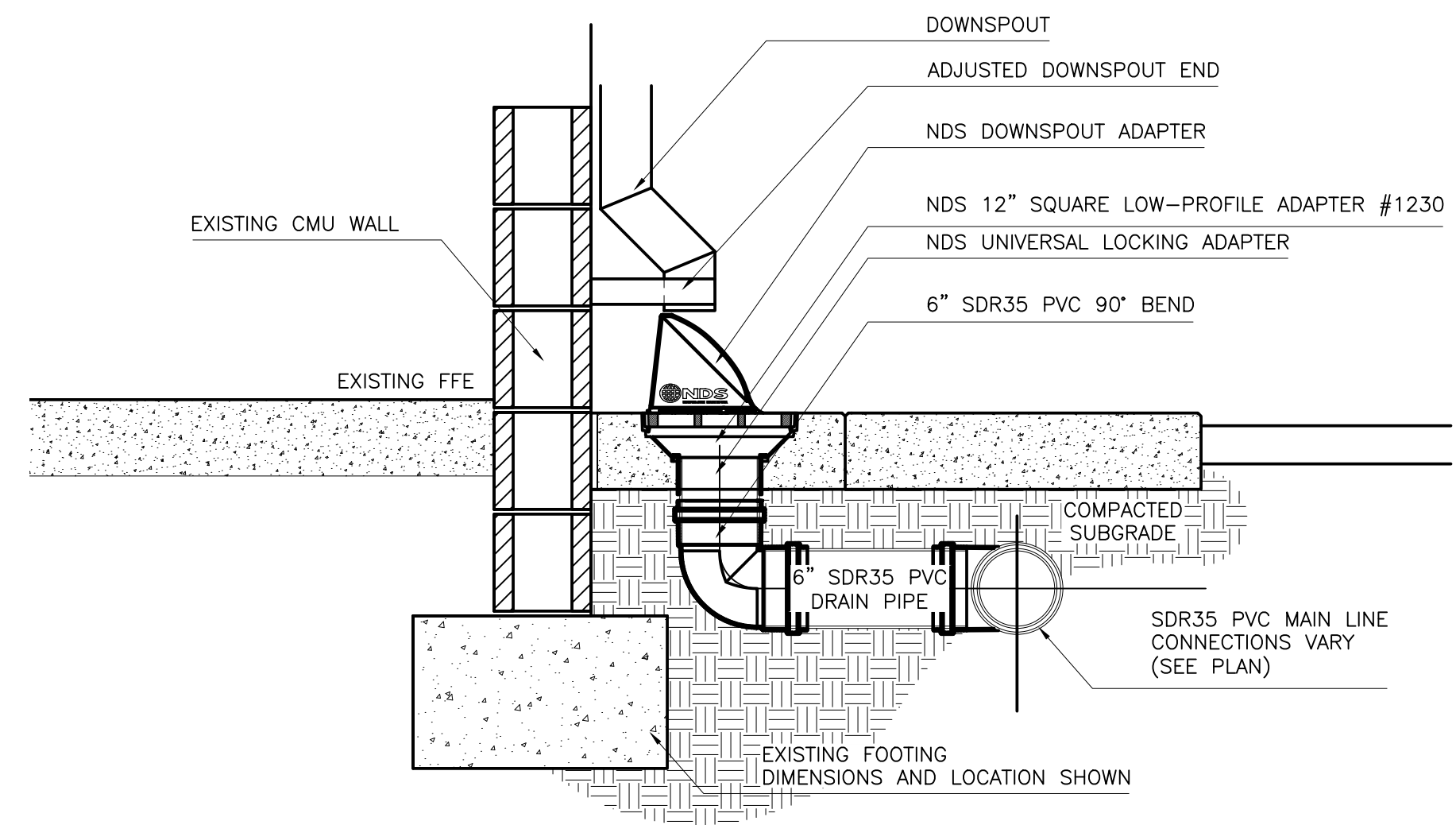
KID MASON CENTER
RENOVATION
DRAINAGE DETAILS



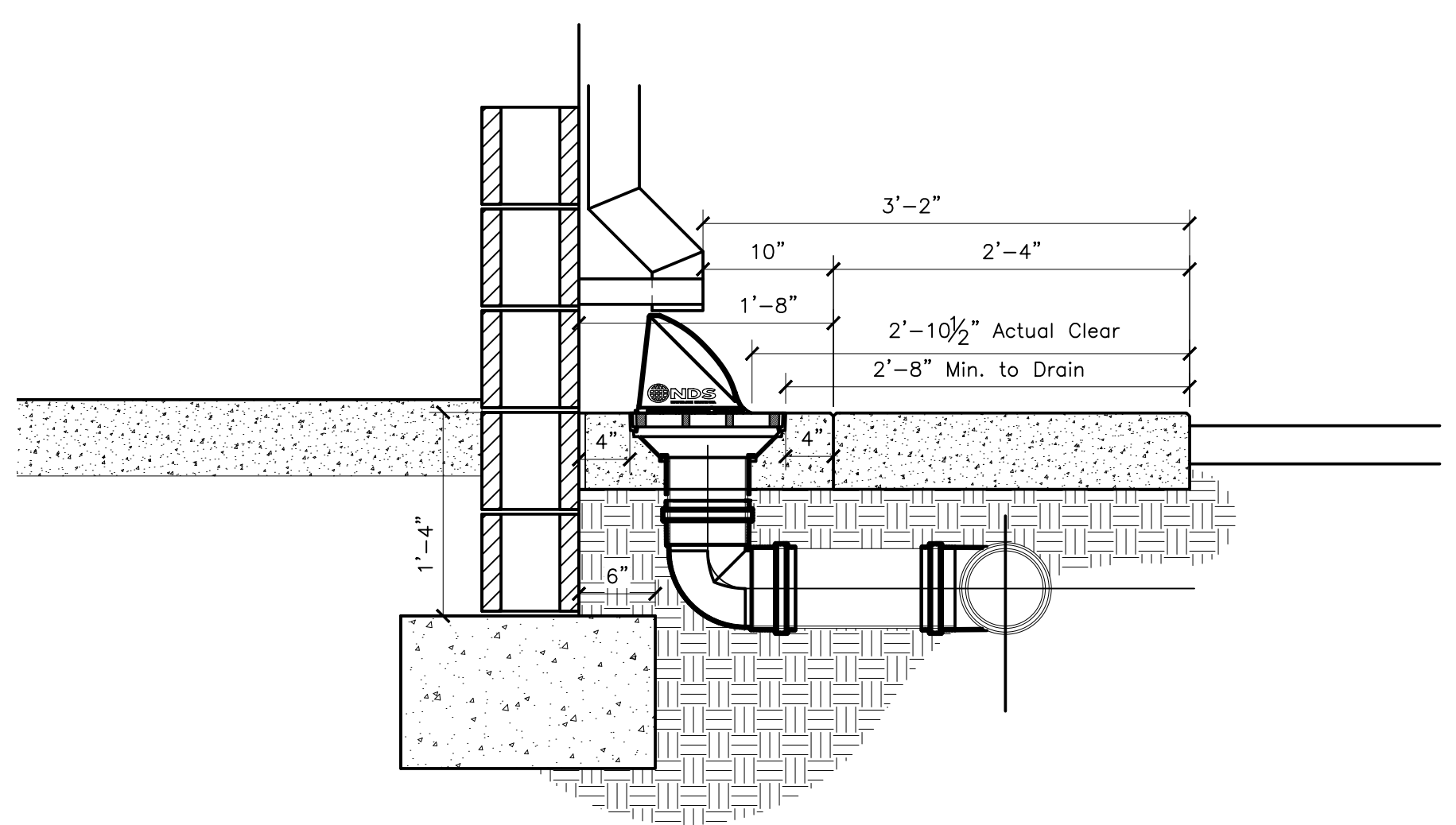
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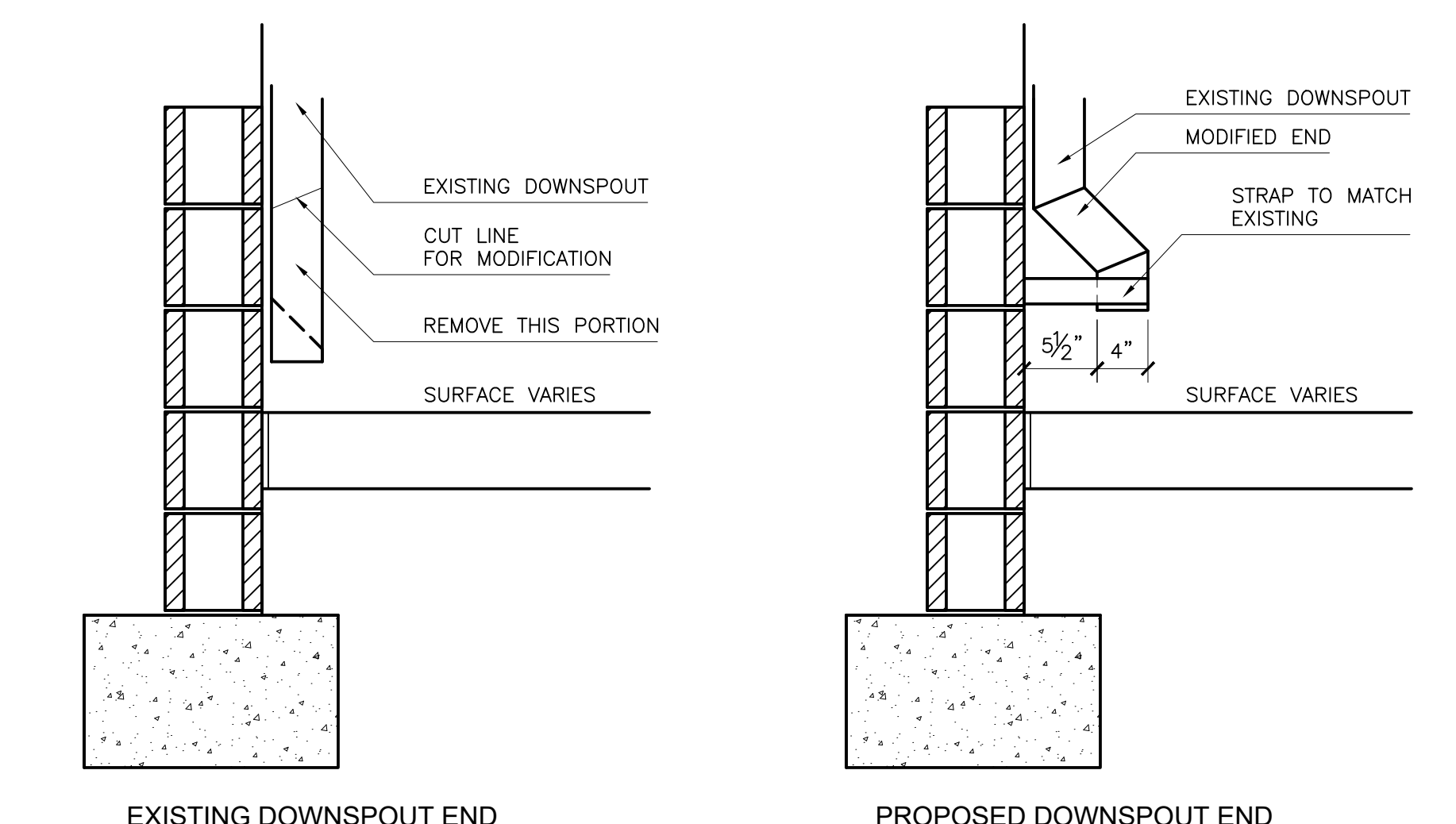
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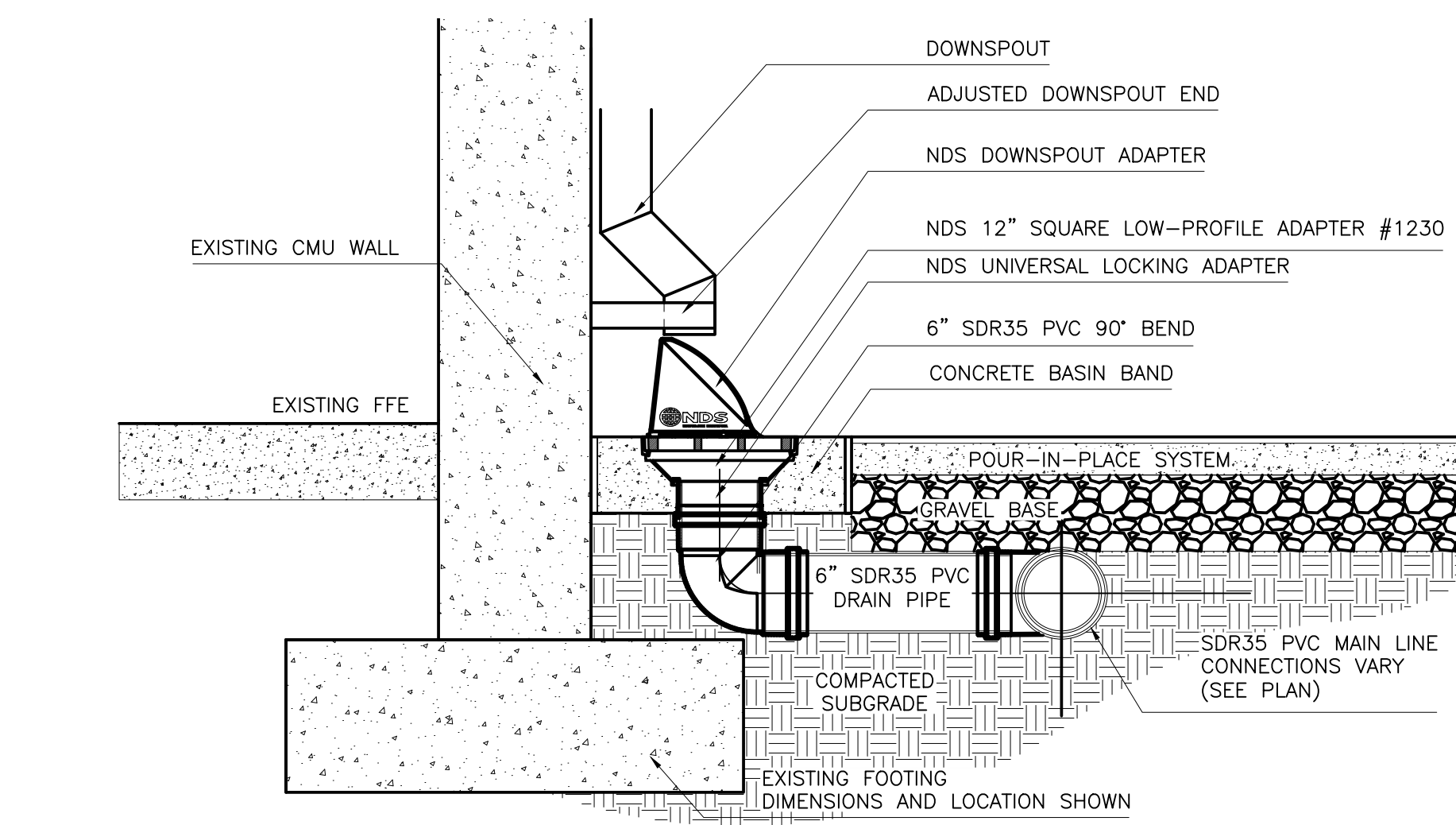
3 TYPICAL DOWNSPOUT DRAIN
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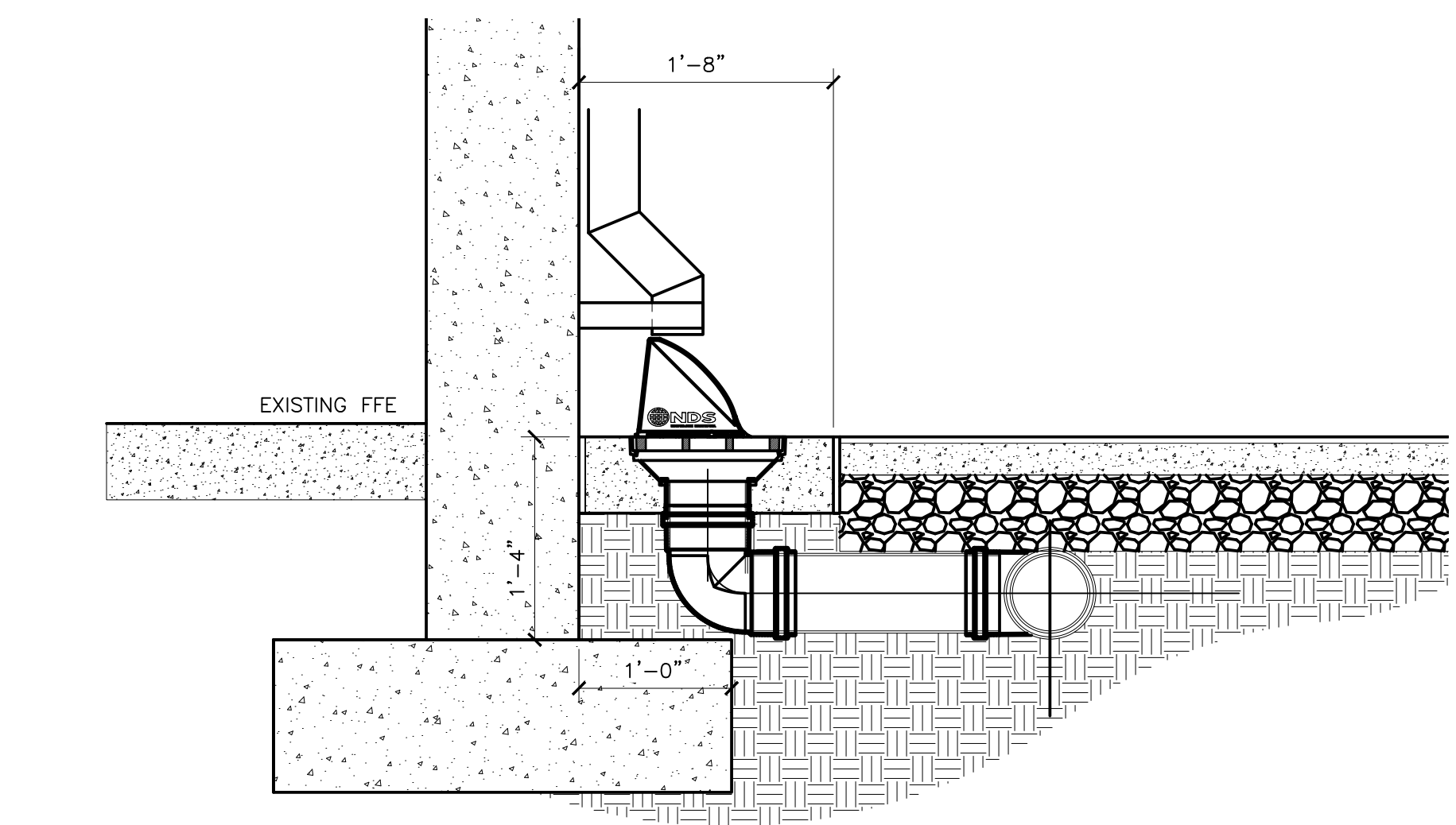
6 TYPICAL DOWNSPOUT DRAIN
DIMENSION DETAIL
SCALE: 1" = 1'-0"



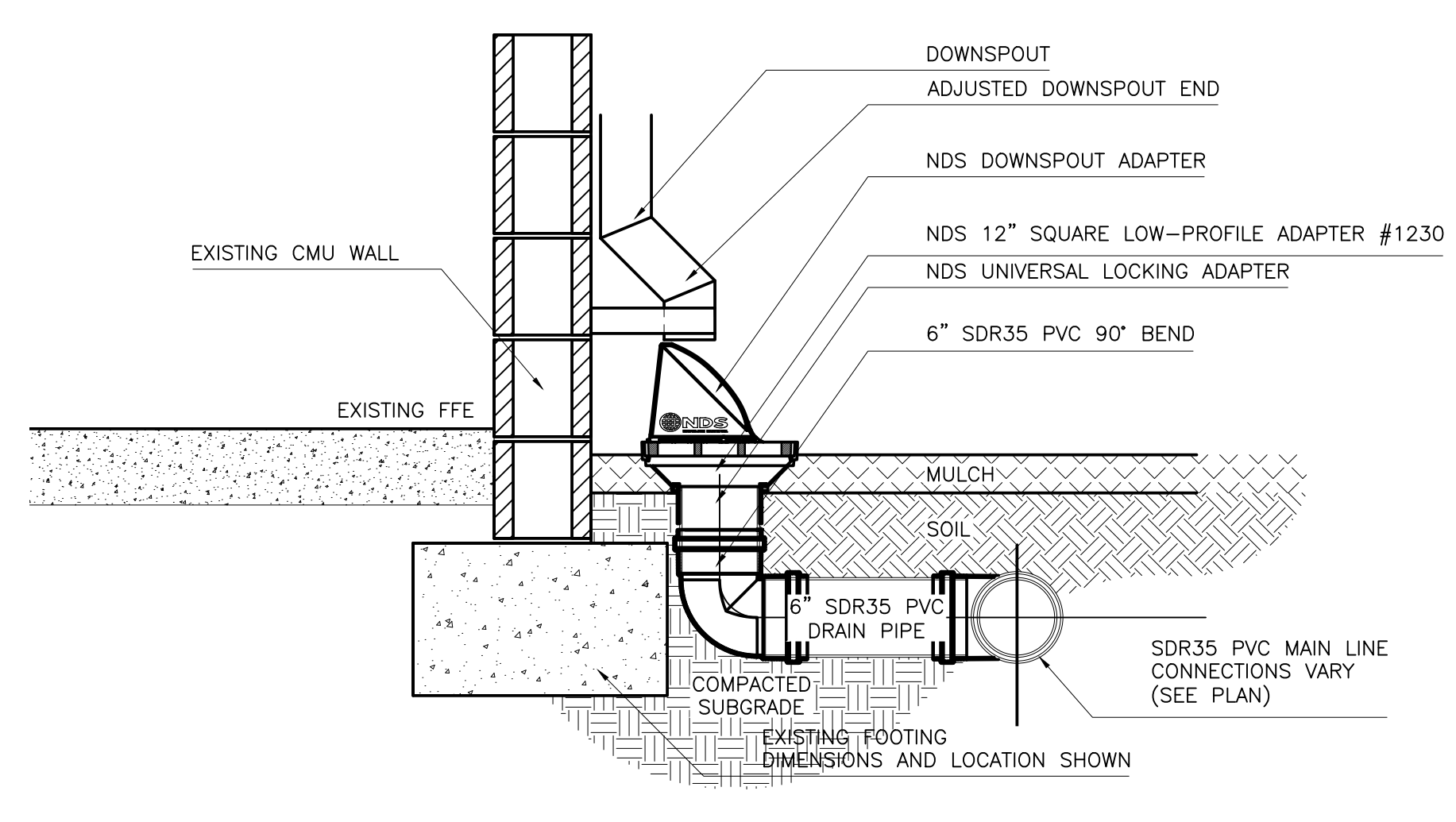
7 TYPICAL DOWNSPOUT MODIFICATION
SCALE: 1" = 1'-0"



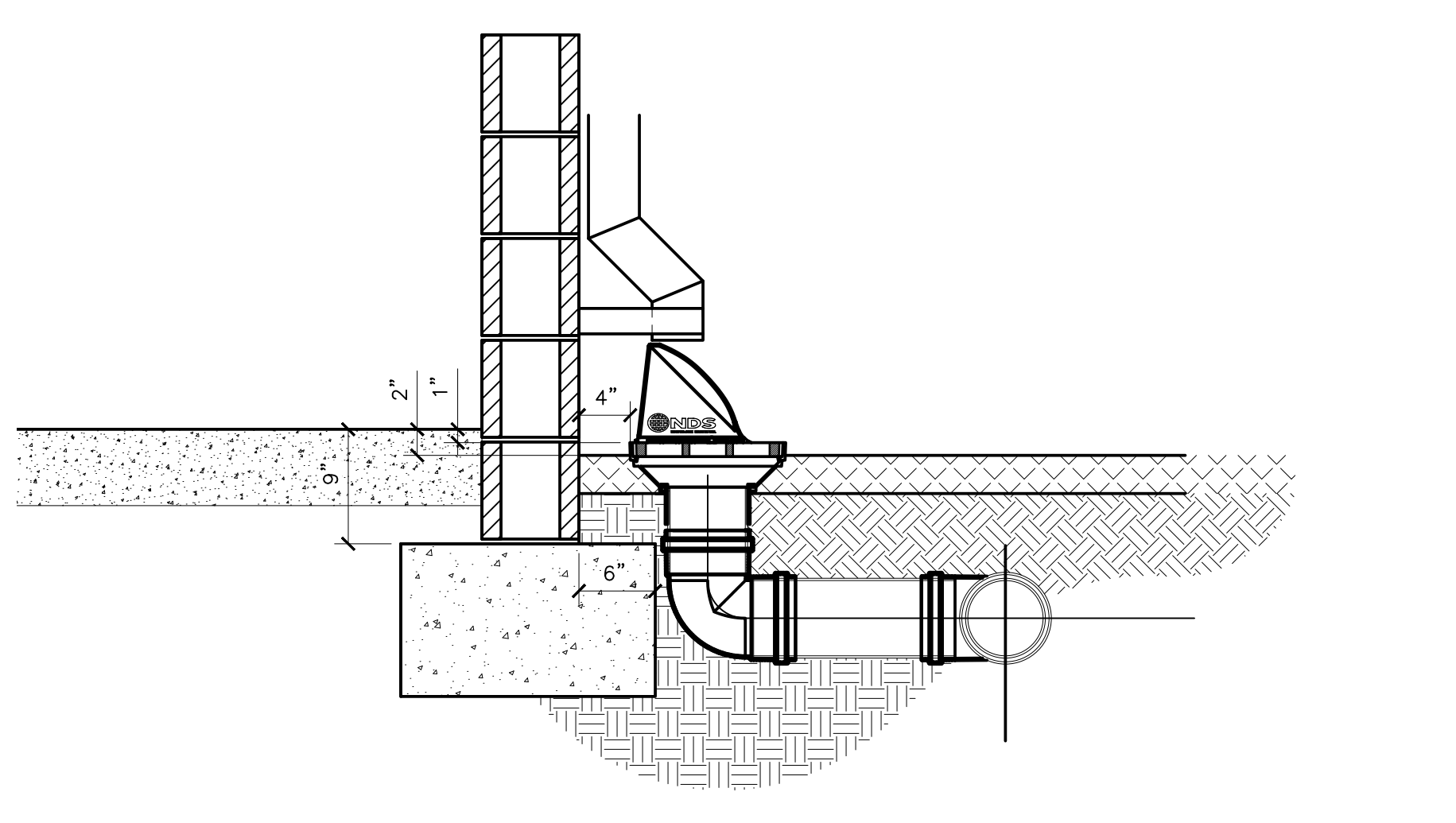
2 DOWNSPOUT DRAIN AT PLAY AREA
CALLOUT DETAIL
SCALE: 1" = 1'-0"



5 DOWNSPOUT DRAIN AT PLAY AREA
DIMENSION DETAIL
SCALE: 1" = 1'-0"



1 DOWNSPOUT DRAIN A
SCALE: 1" = 1'-0"



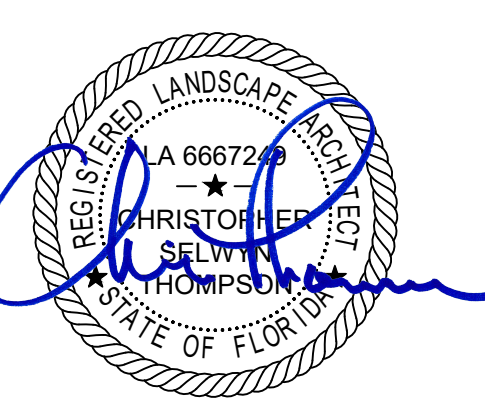
4 DOWNSPOUT DRAIN A
DIMENSION DETAIL
SCALE: 1" = 1'-0"

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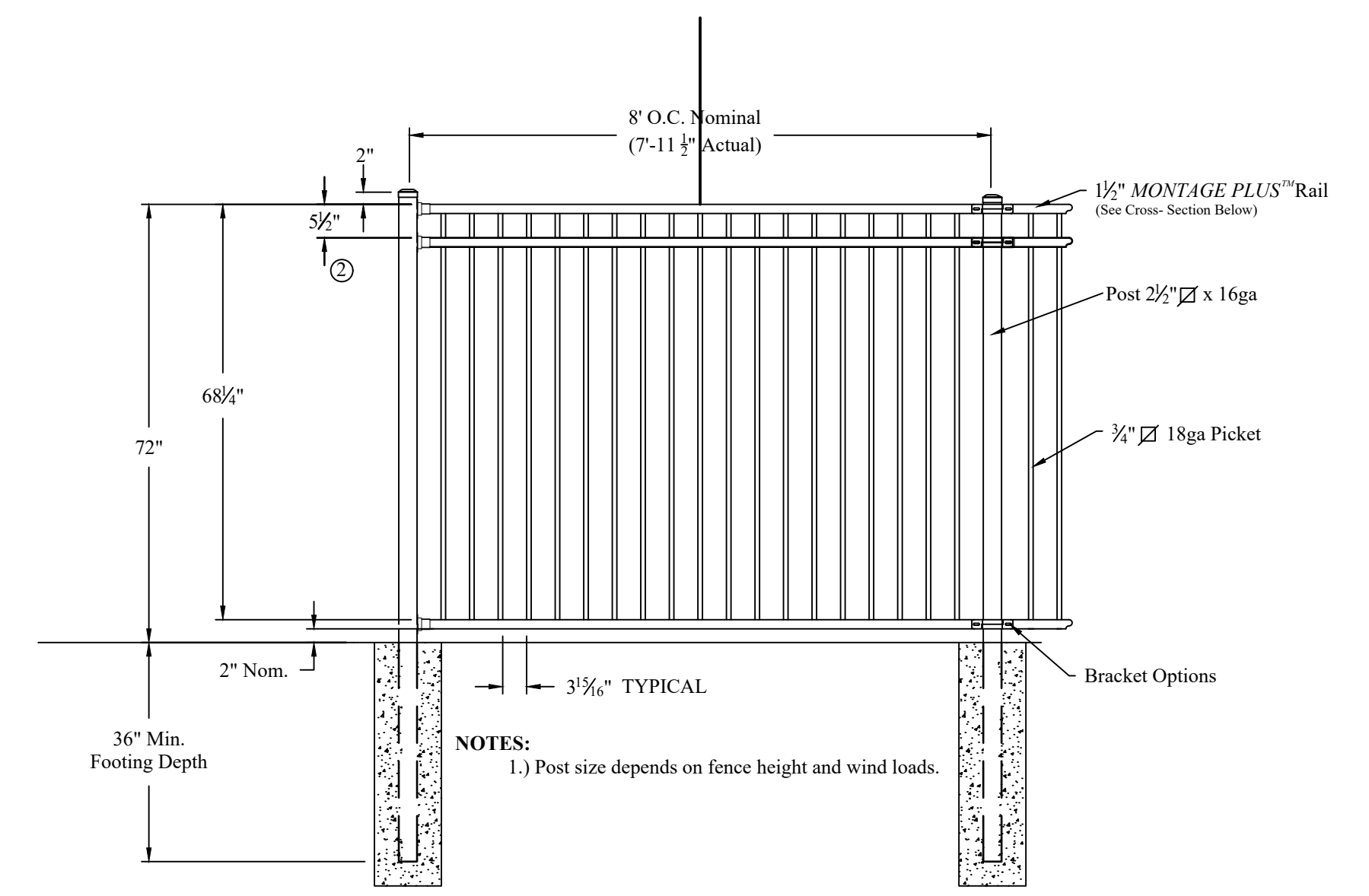
KID MASON CENTER
RENOVATION
TYPICAL FENCE DETAILS



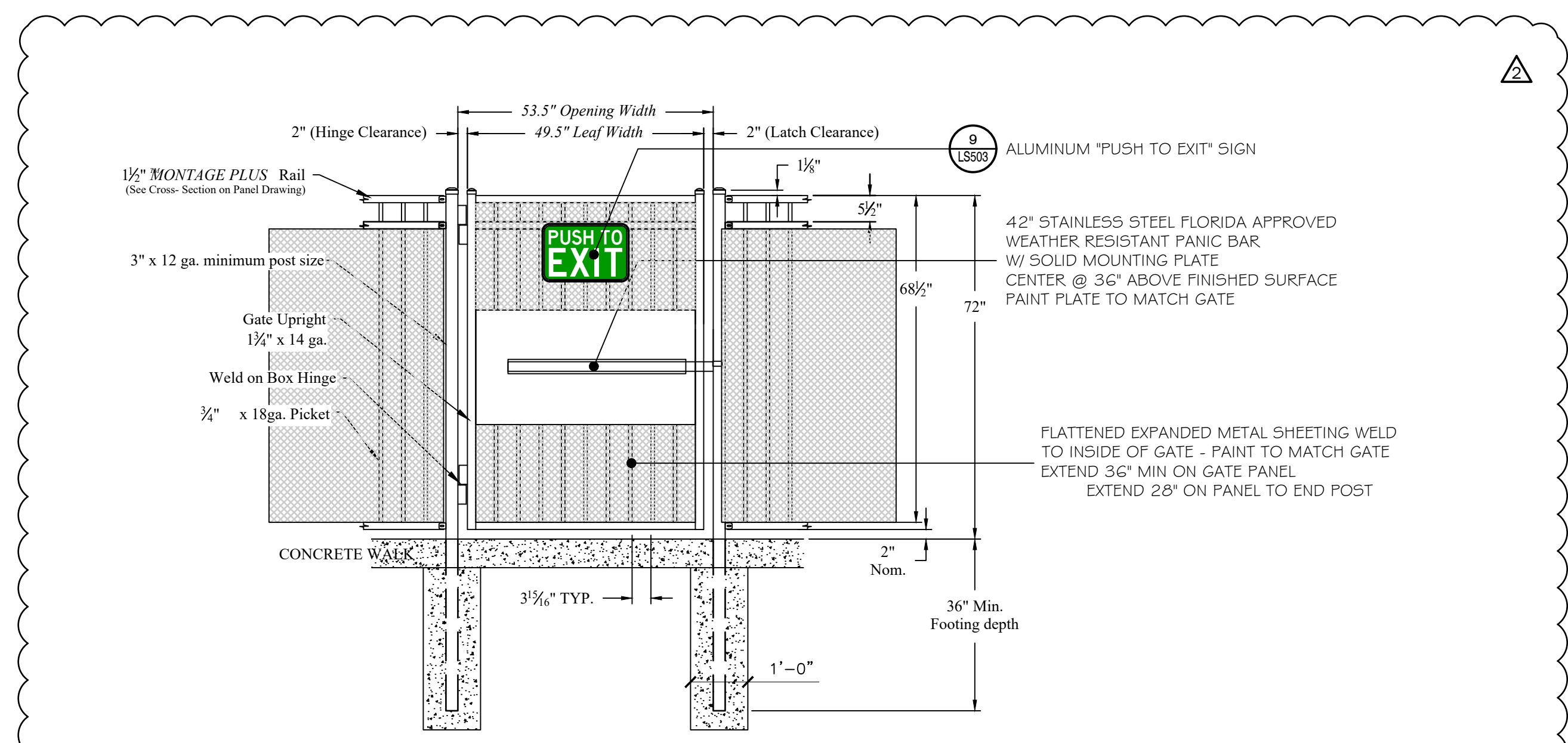
Parks & Recreation
CITY OF TAMPA
Planning and Design
3402 W. Columbus Drive
Tampa, FL 33607



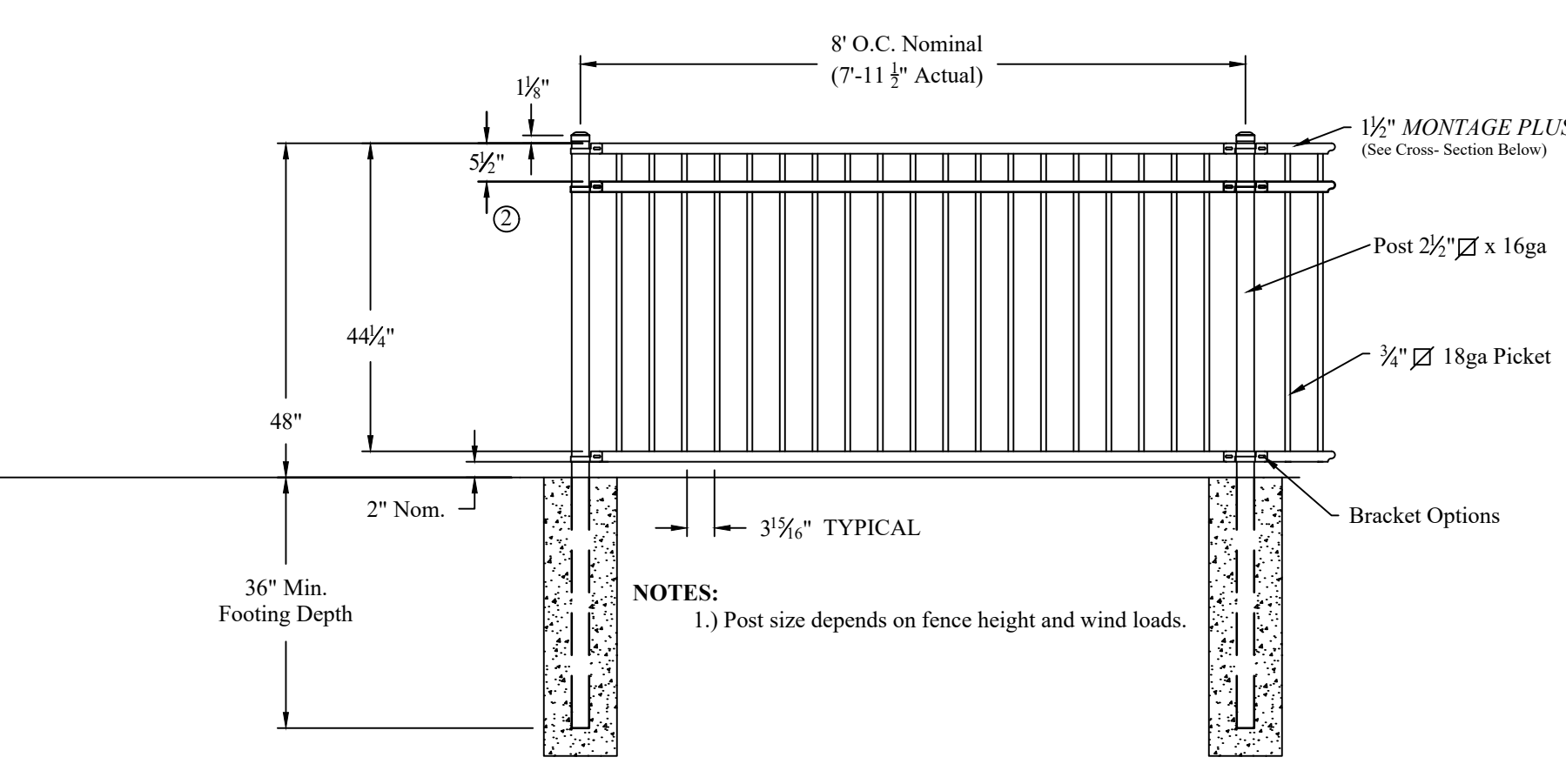
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Sheet	LS502
of	45 Sheets



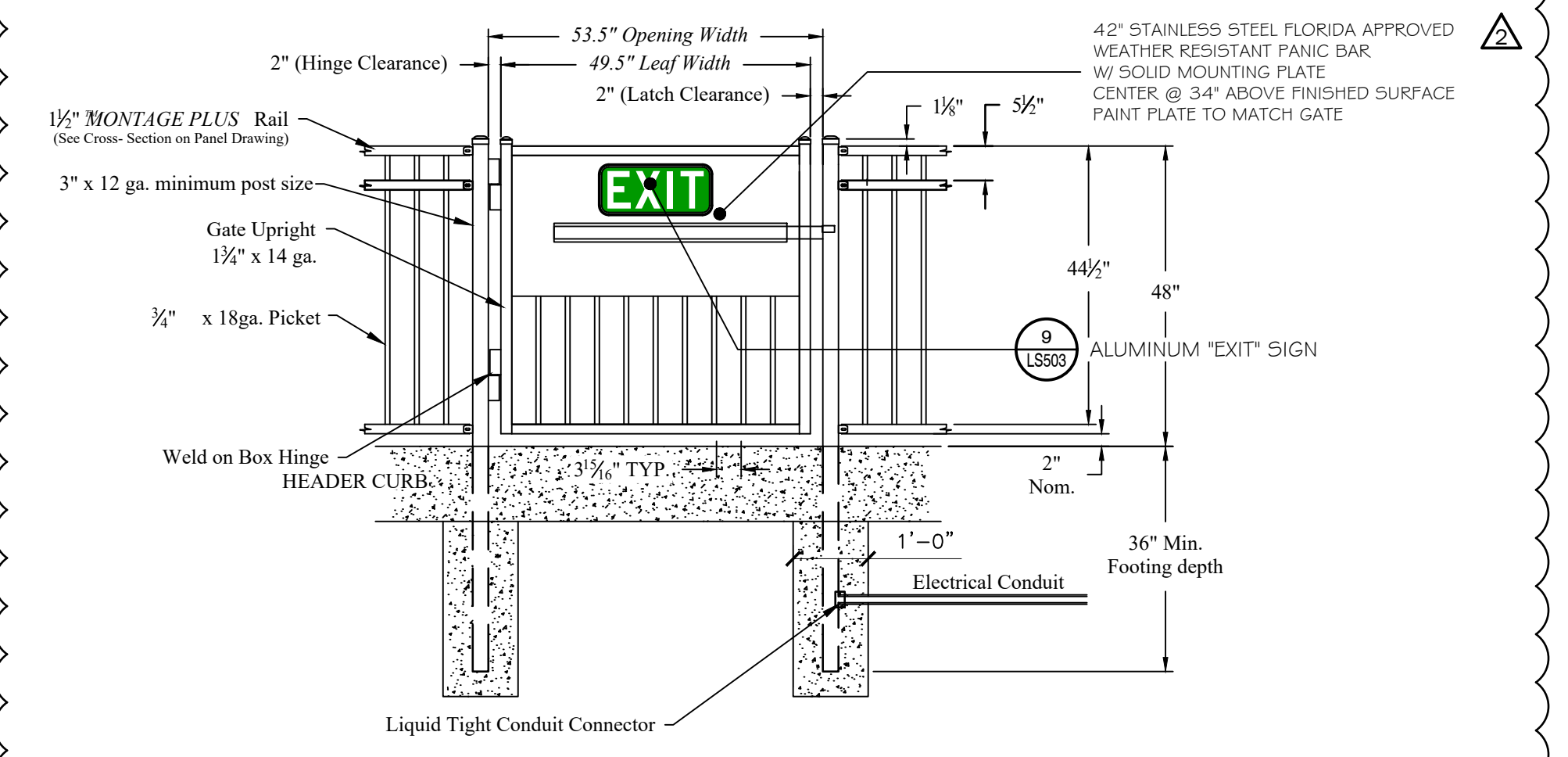
1 TYPICAL DECORATIVE METAL FENCE PANEL (6' HIGH)
SCALE: 1/2" = 1'-0"



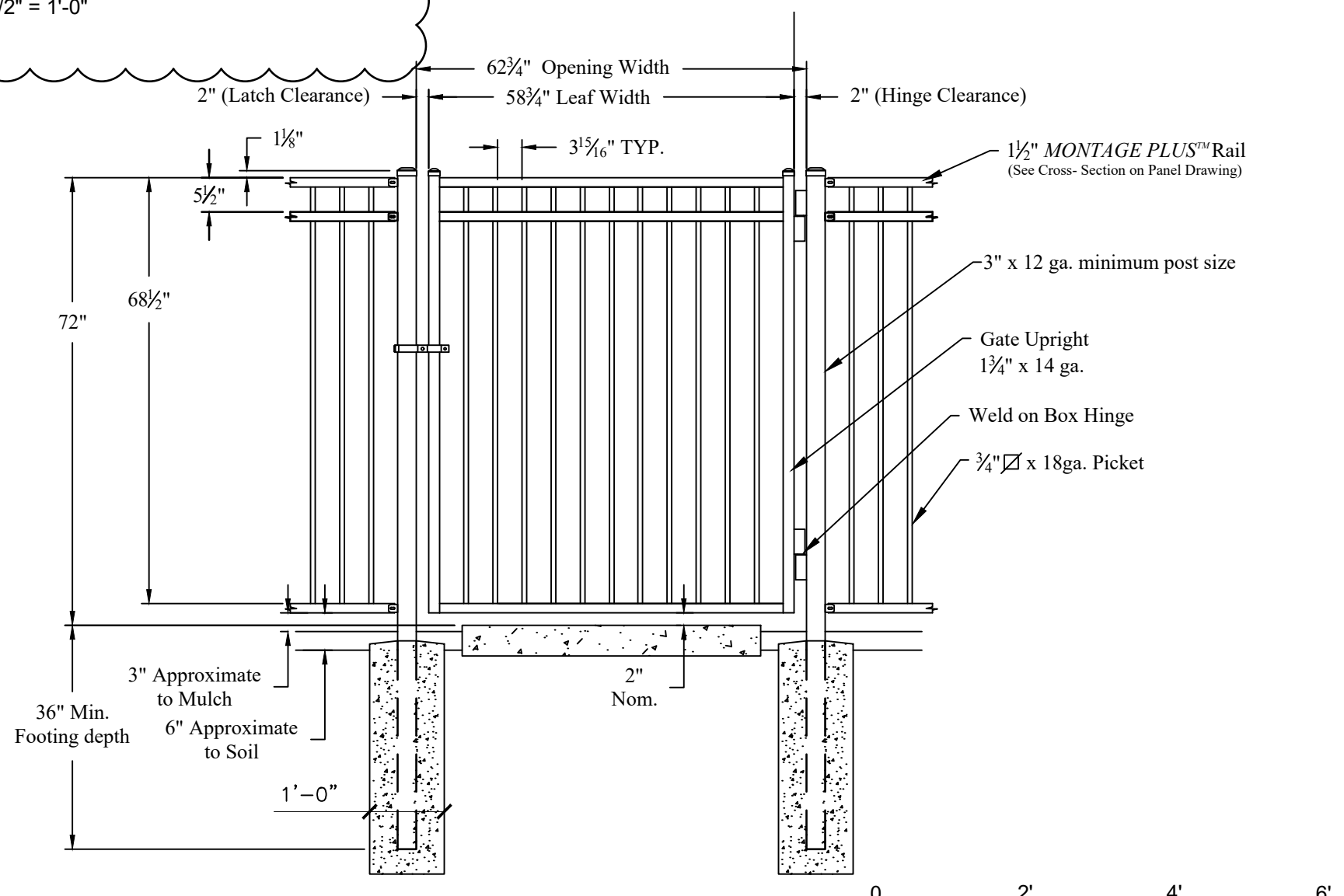
4 DECORATIVE METAL GATE (6' HIGH X 4' WIDE)
SCALE: 1/2" = 1'-0"



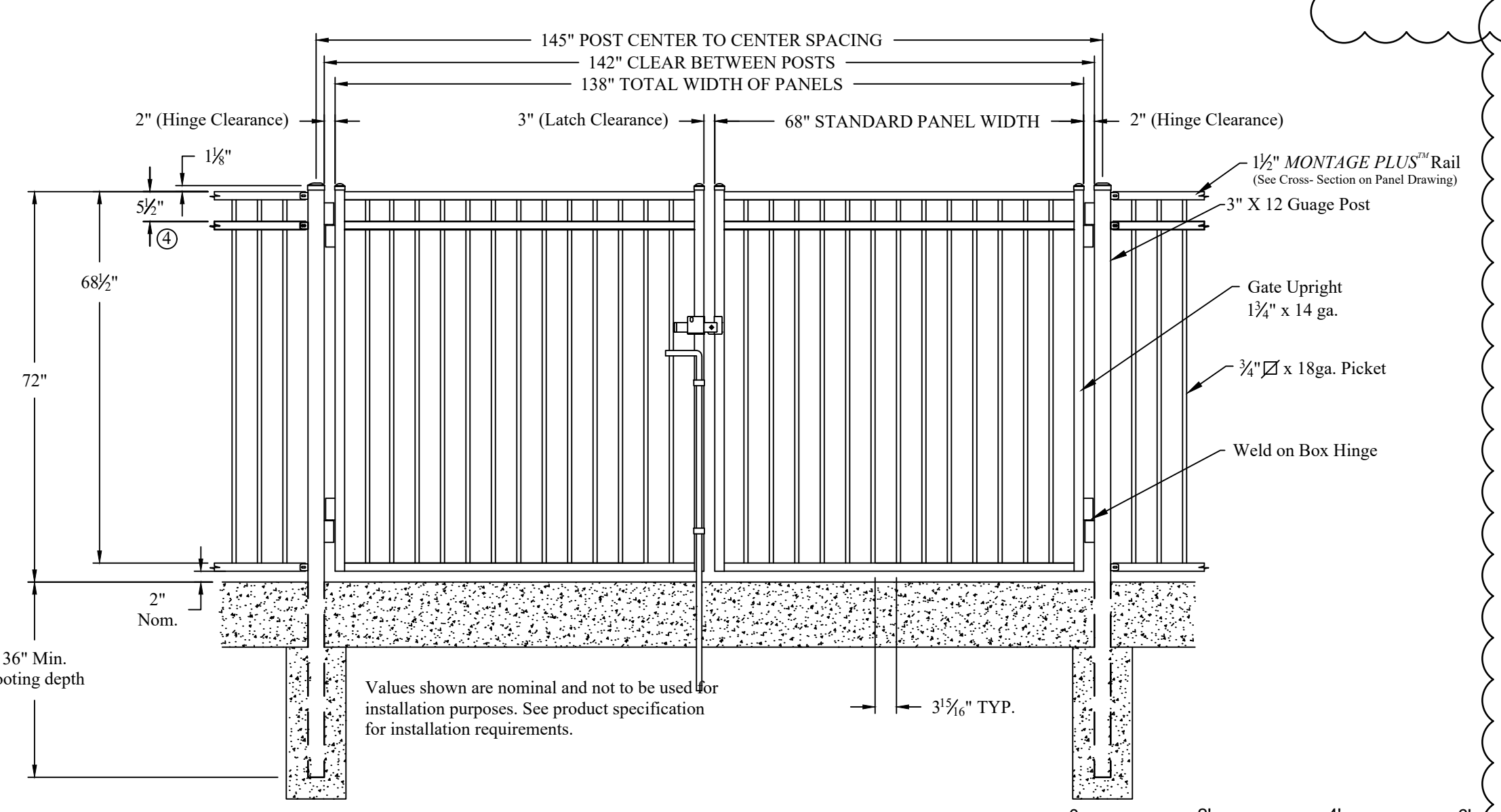
2 TYPICAL DECORATIVE METAL FENCE PANEL (4' HIGH)
SCALE: 1/2" = 1'-0"



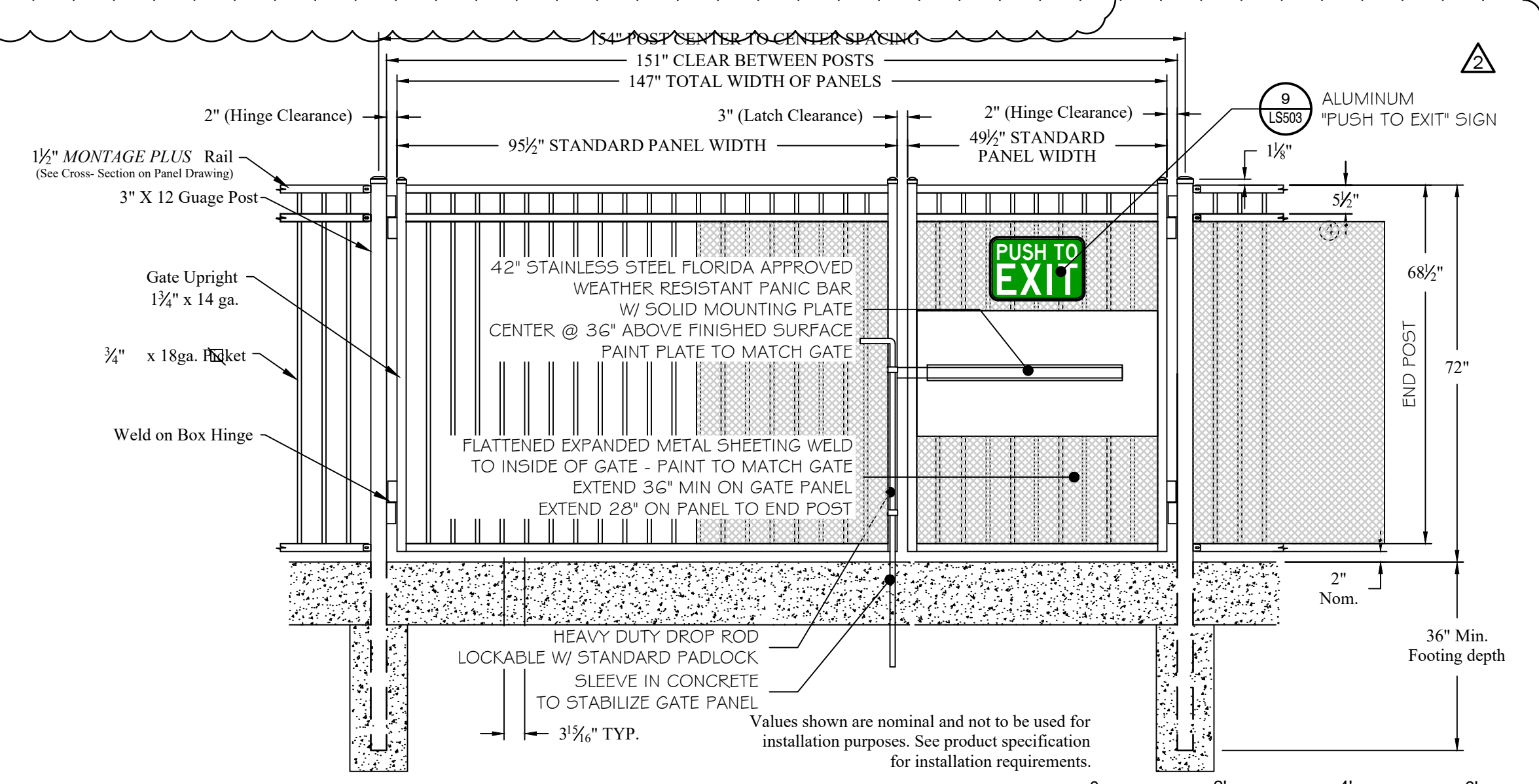
5 DECORATIVE METAL GATE (4' HIGH X 4' WIDE)
SCALE: 1/2" = 1'-0"



6 DECORATIVE METAL GATE (6' HIGH X 5' WIDE)
SCALE: 1/2" = 1'-0"



3 DECORATIVE METAL DOUBLE GATE (6' HIGH x 12' WIDE)
SCALE: 1/2" = 1'-0"



7 DECORATIVE METAL MAINTENANCE + EGRESS GATE (6' HIGH x 12' WIDE - VIEW FROM INSIDE GATED AREA)
SCALE: 1/2" = 1'-0"

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STANDARD SIGNAGE SPECIFICATIONS

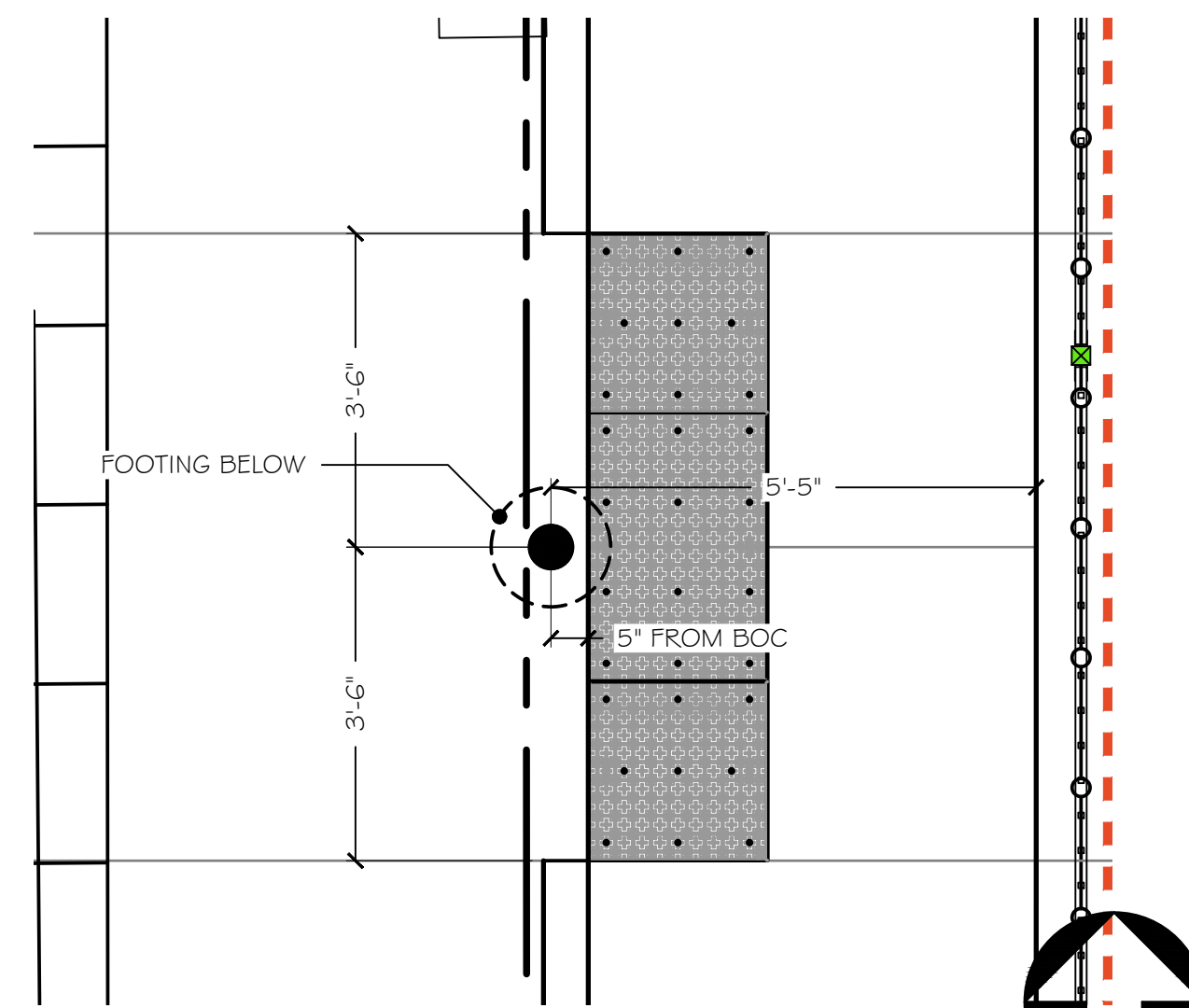
- UNLESS OTHERWISE NOTED, ALL SIGNS SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS:
- All signs shall provide 10-Plus Years of Outdoor Service Without Fading
 - Sheeting shall be Engineer Grade Prismatic Reflective Sign Face or better
 - Sign Blanks
 - 3.1. Standard Sign: Heavy-Gauge .080" Aluminum
 - 3.2. Standard ADA Parking Sign: Heavy-Gauge .080" Aluminum
 - 3.3. Standard ADA Fine Sign: Engineering Grade .063" Aluminum
 - 3.4. Exit Sign: Heavy-Gauge .080" Aluminum
 - Signs shall be pre-drilled 3/8" Dia. to accept (2) - 3/8" bolts to mount to post. Holes shall be centered horizontally and located 1" from the top and bottom of each sign UNLESS NOTED.
 - Sign shall be printed with UV stable ink
 - Sign Face shall be laminated with 3M 1160a Anti-Graffiti and Anti-Weather Protection to facilitate cleaning and offer an additional layer of protection.
 - Lettering
 - 7.1. FHWA Standard Alphabet fonts
 - 8. Colors as referenced in Federal Standard 595C
 - 8.1. Blue: Color No. 15090
 - 8.2. Green: Color No. 14115
 - 8.3. Black: Color No. 17038

STANDARD SIGNAGE FASTENER SPECIFICATIONS

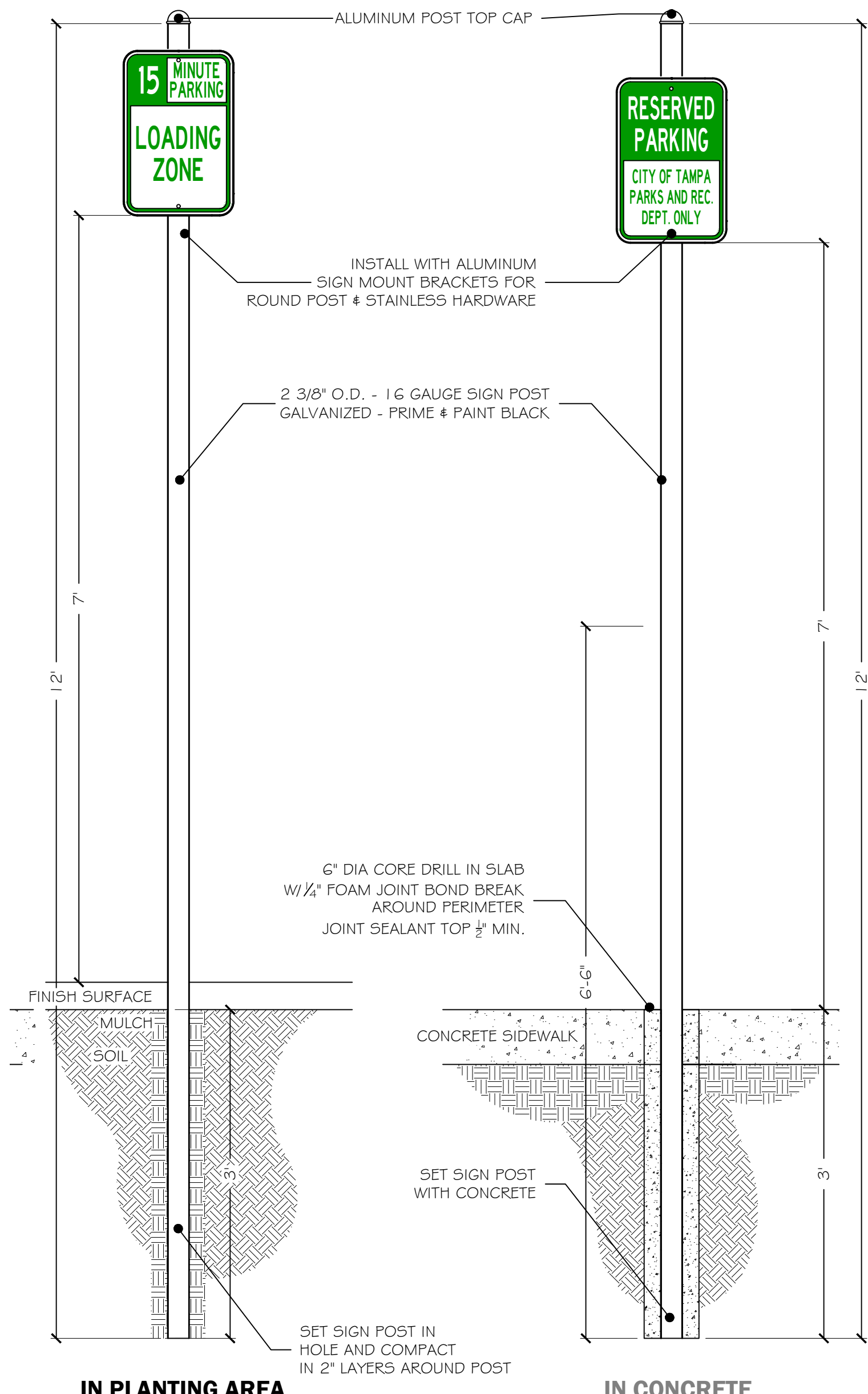
- UNLESS OTHERWISE NOTED, ALL SIGN POSTS SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS:
- All fasteners shall be in new, unused condition.
 - All fasteners shall be 316 Stainless steel unless otherwise noted.

STANDARD SIGNAGE POST SPECIFICATIONS

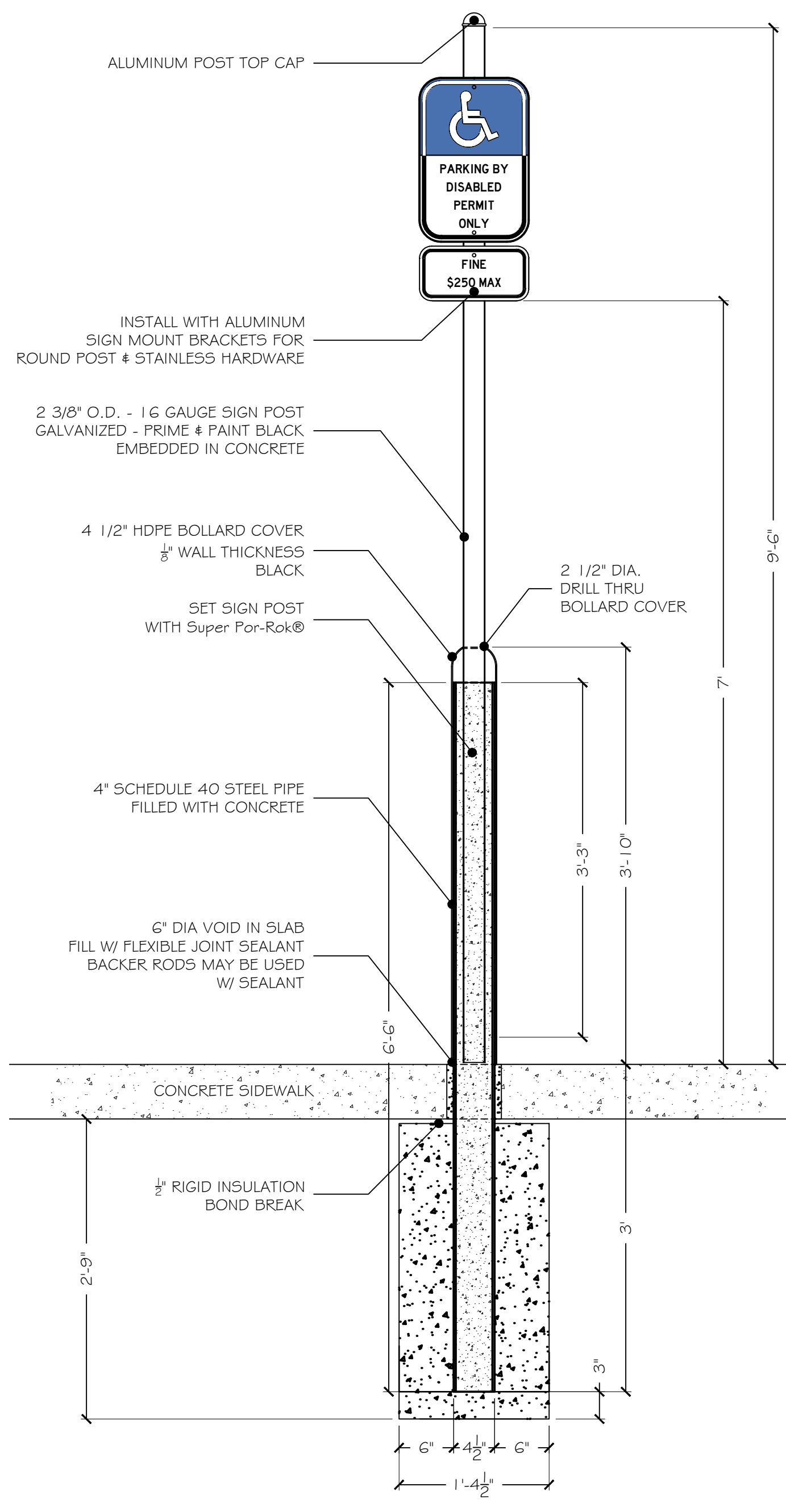
- UNLESS OTHERWISE NOTED, ALL SIGN POSTS SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS:
- All Posts shall be in new, unused condition.
 - Posts shall be machine straightened and have a smooth uniform finish, free from injurious defects affecting their strength, durability, or appearance.
 - All ends shall be free from burrs.
 - Posts shall be Hot-Dipped Galvanized conforming to ASTM A-123-89a to prevent corrosion.
 - Posts shall have a weight of 1.6 lb per linear foot (2 3/8" O.D. x 1/2" Gauge)



5 ADA PARKING SIGN PLAN SCALE: 1/2" = 1'-0"



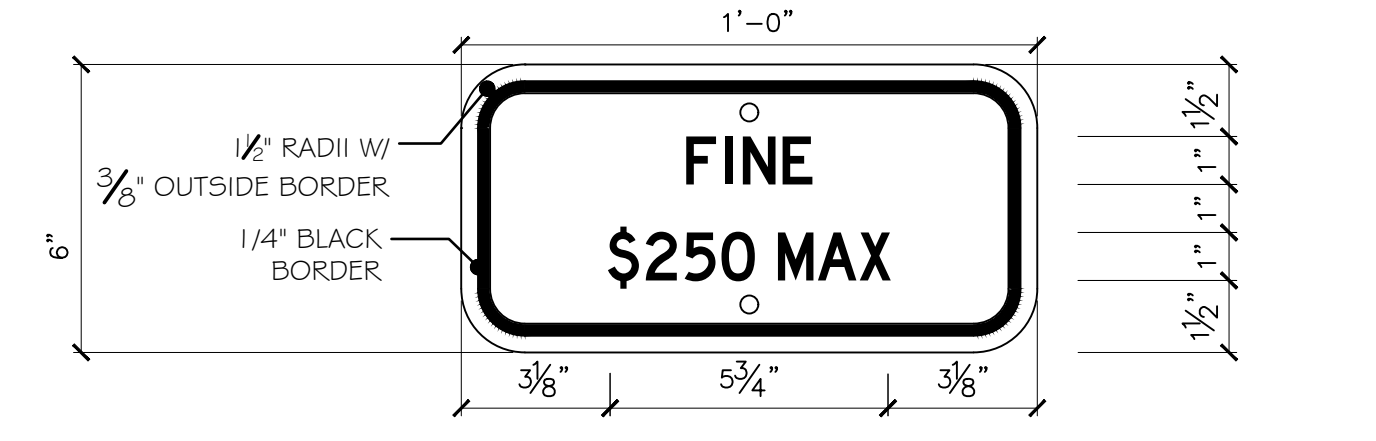
8 TYPICAL SIGN SCALE: 1" = 1'-0"



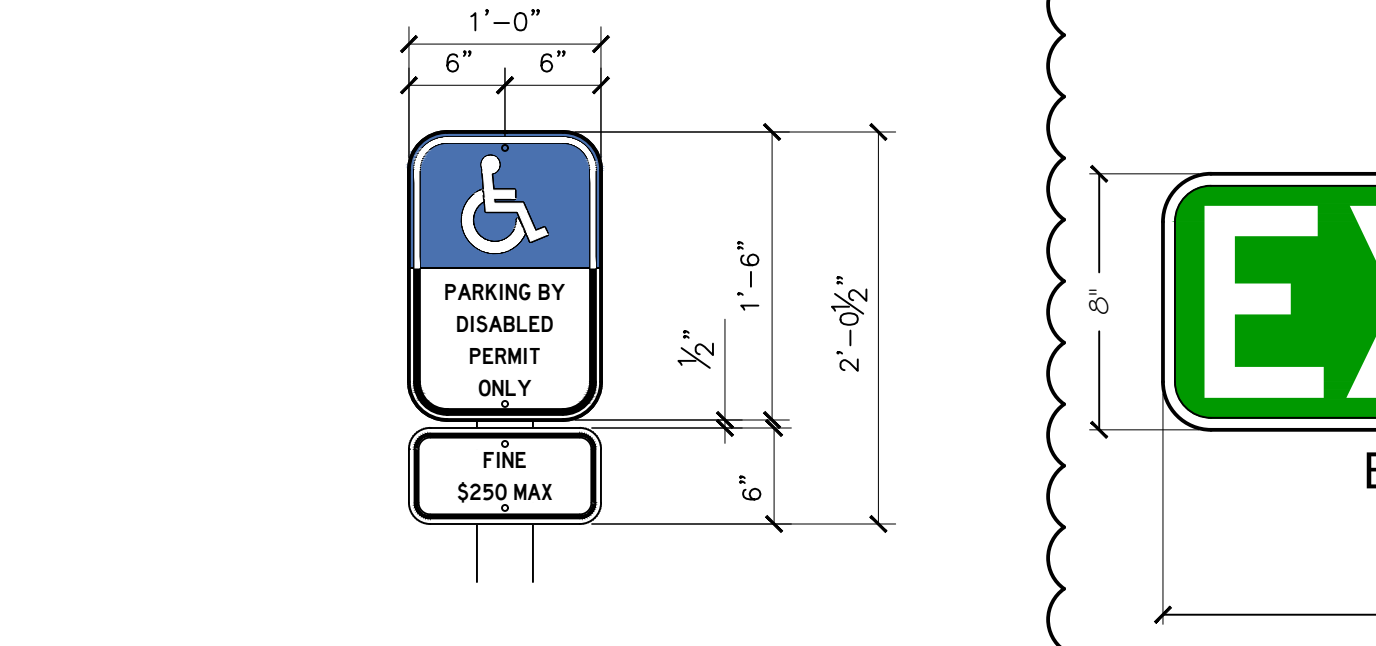
1 ADA PARKING SIGN W/ BOLLARD BASE SCALE: 1" = 1'-0"



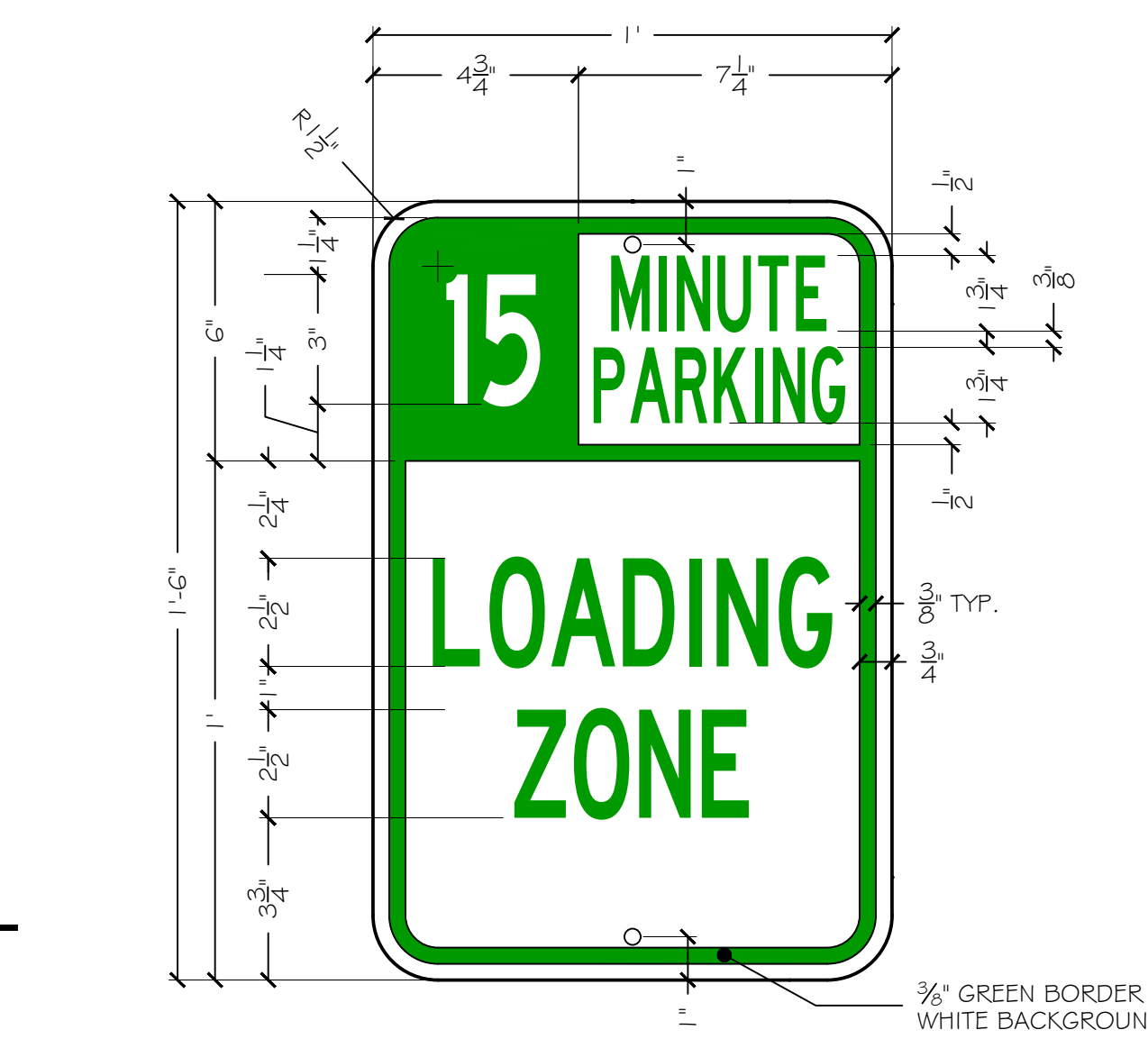
2 ADA PERMIT ONLY PARKING SIGN (FDOT FTP-20-06) SCALE: 3" = 1'-0"



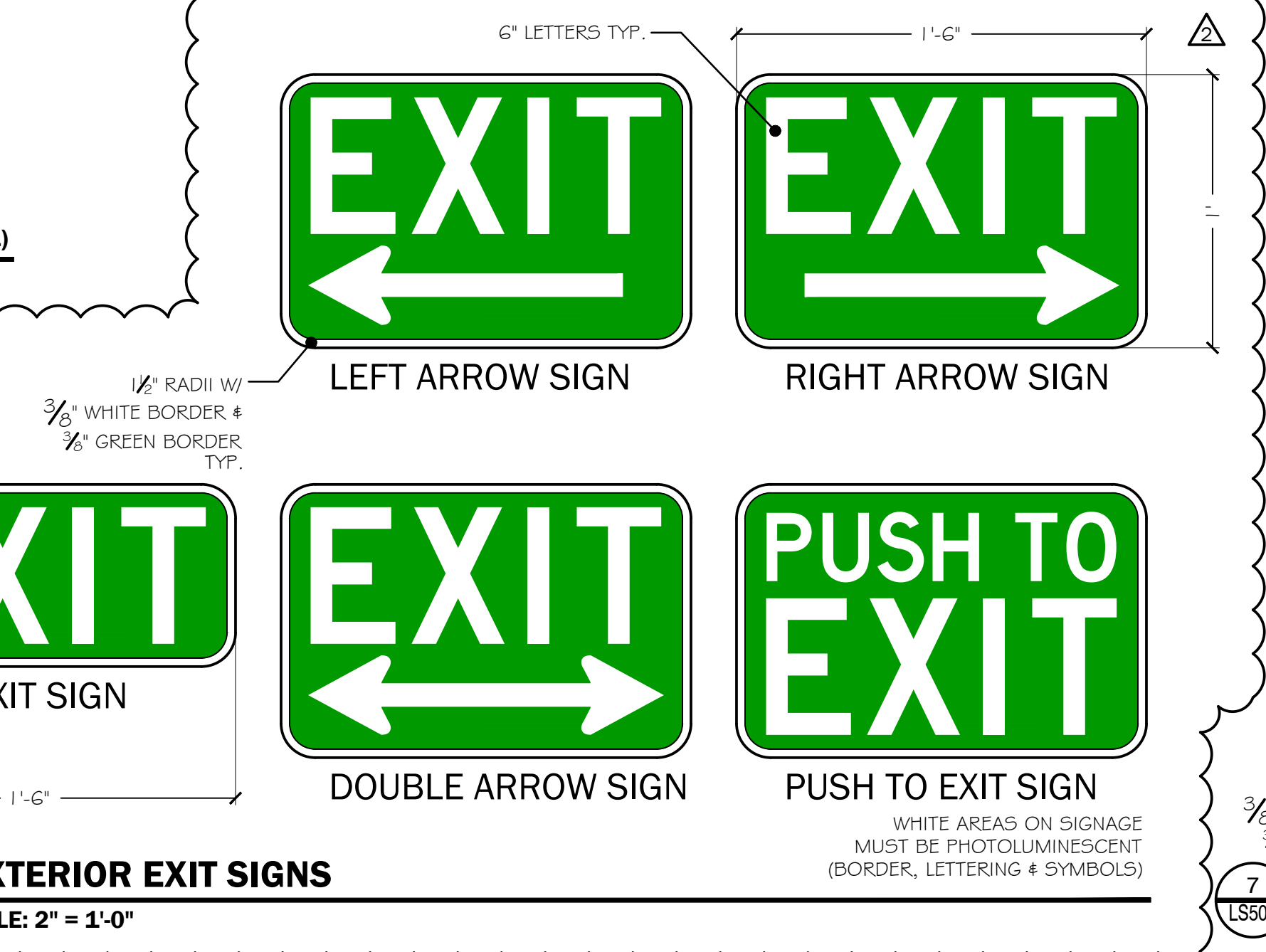
3 STANDARD ADA FINE SIGN (FDOT FTP-22-06 - SUPPLEMENTAL PANEL) SCALE: 3" = 1'-0"



4 STANDARD ADA SIGN DETAIL LAYOUT SCALE: 1" = 1'-0"



6 15 MINUTE LOADING ZONE SIGN SCALE: 3" = 1'-0"

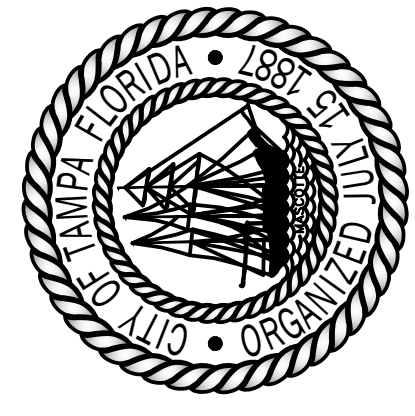


9 EXTERIOR EXIT SIGNS SCALE: 2" = 1'-0"



7 PARKS & REC. RESERVED PARKING SIGN SCALE: 3" = 1'-0"

KID MASON CENTER
RENOVATION
SIGNAGE DETAILS



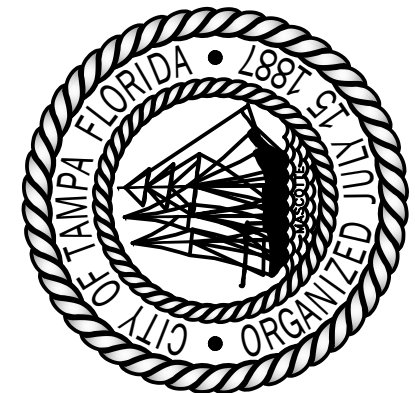
Parks & Recreation
CITY OF TAMPA
Planning and Design
3402 W. Columbus Drive
Tampa, FL 33607



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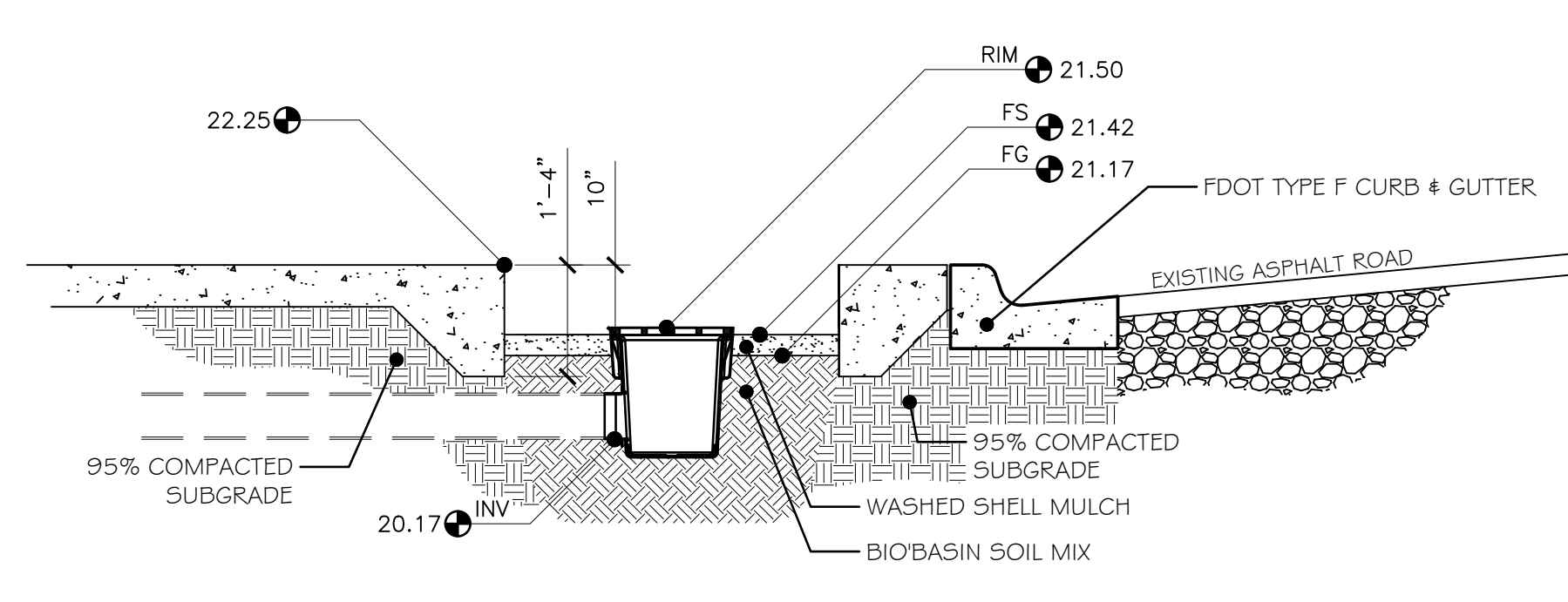
KID MASON CENTER
RENOVATION
PROJECT SHEET
BIOBASIN DETAILS



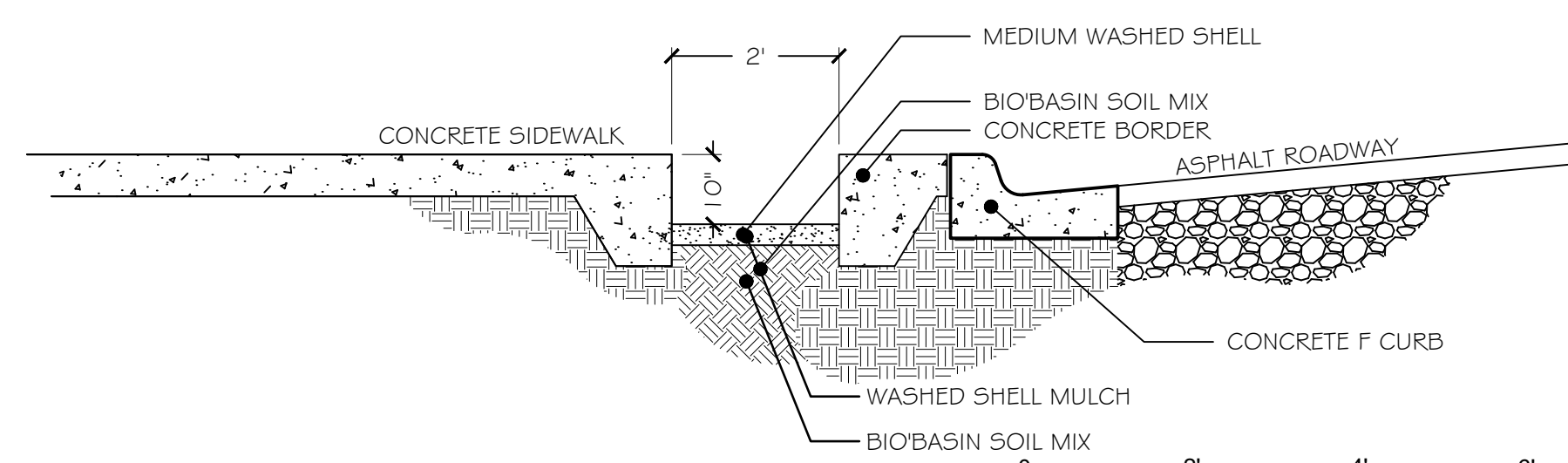
Parks & Recreation
CITY OF TAMPA
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3402 W. Columbus Drive
Tampa, FL 33607



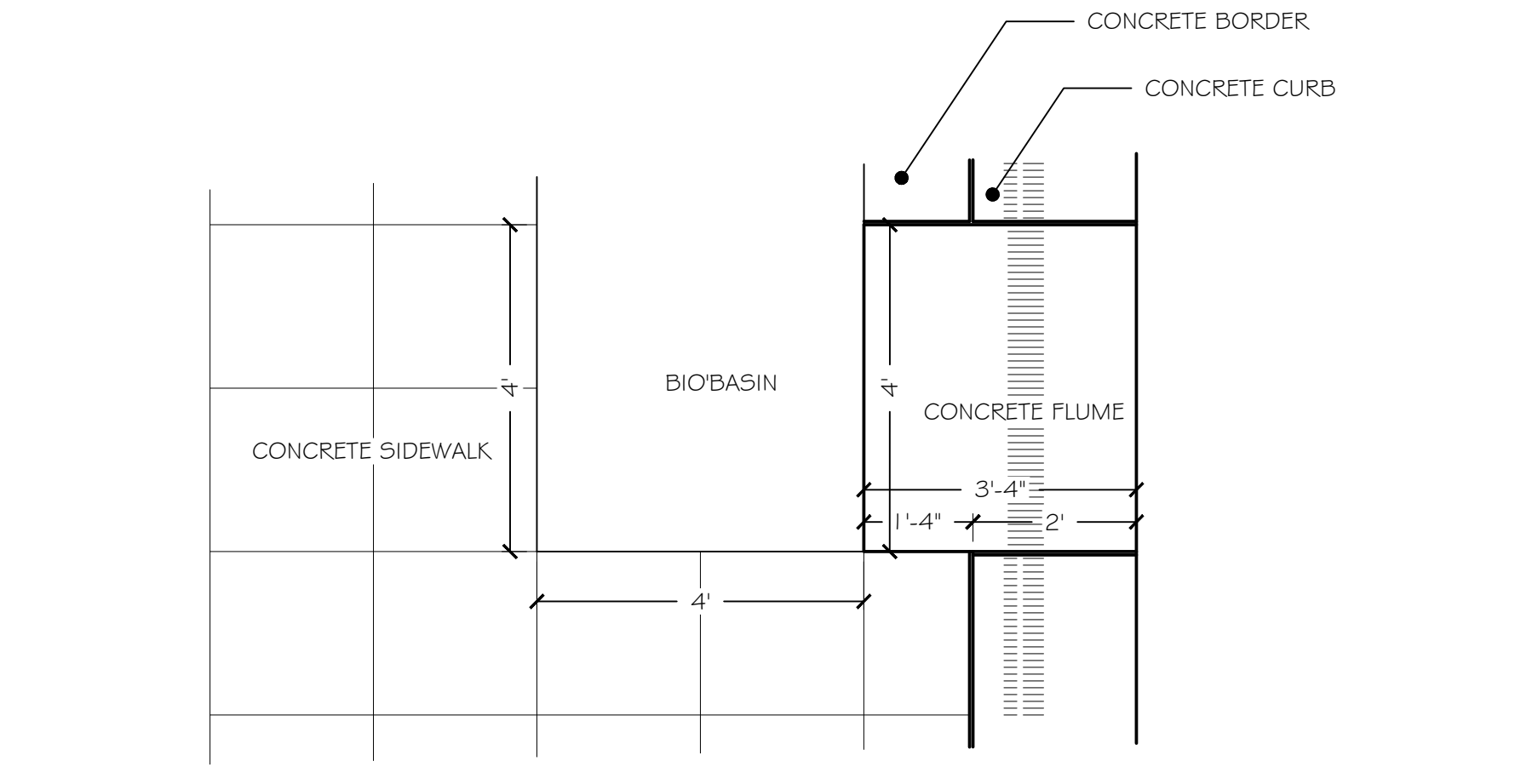
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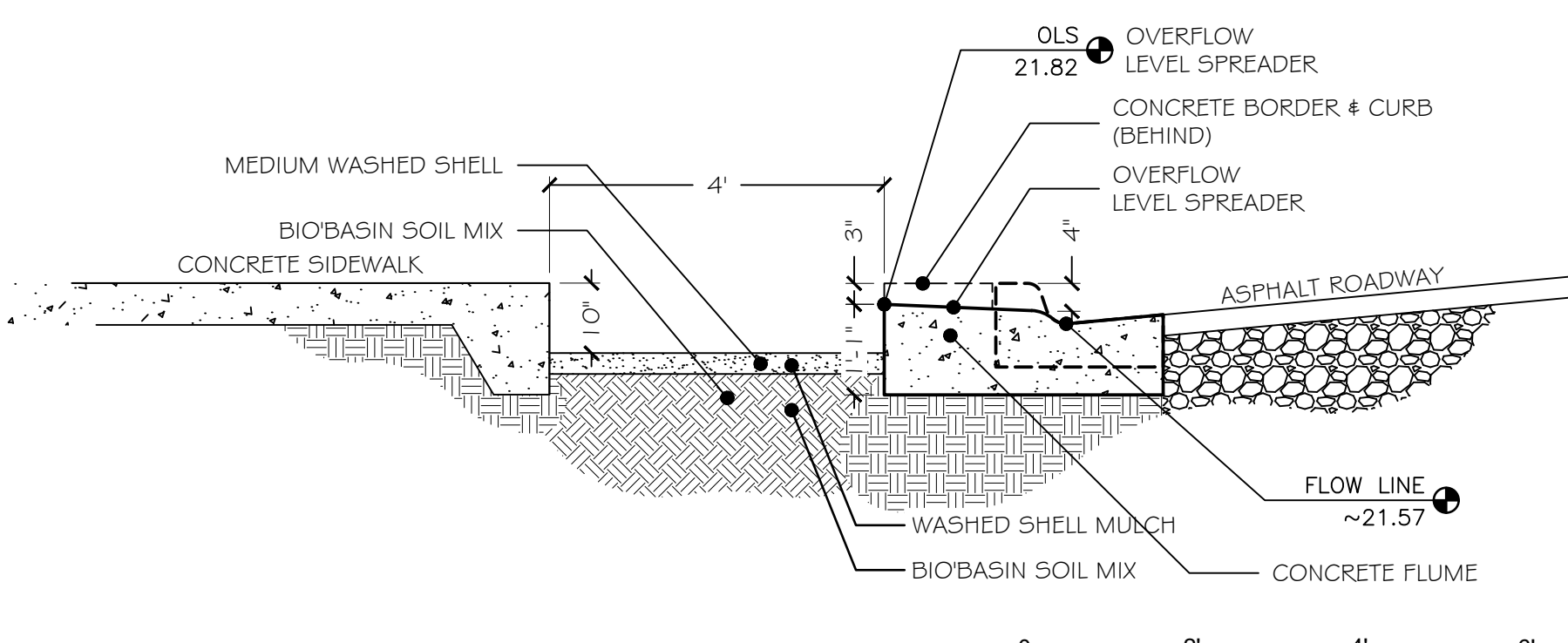
1 BIO'BASIN #1 - SECTION A
SCALE: 1/2" = 1'-0"



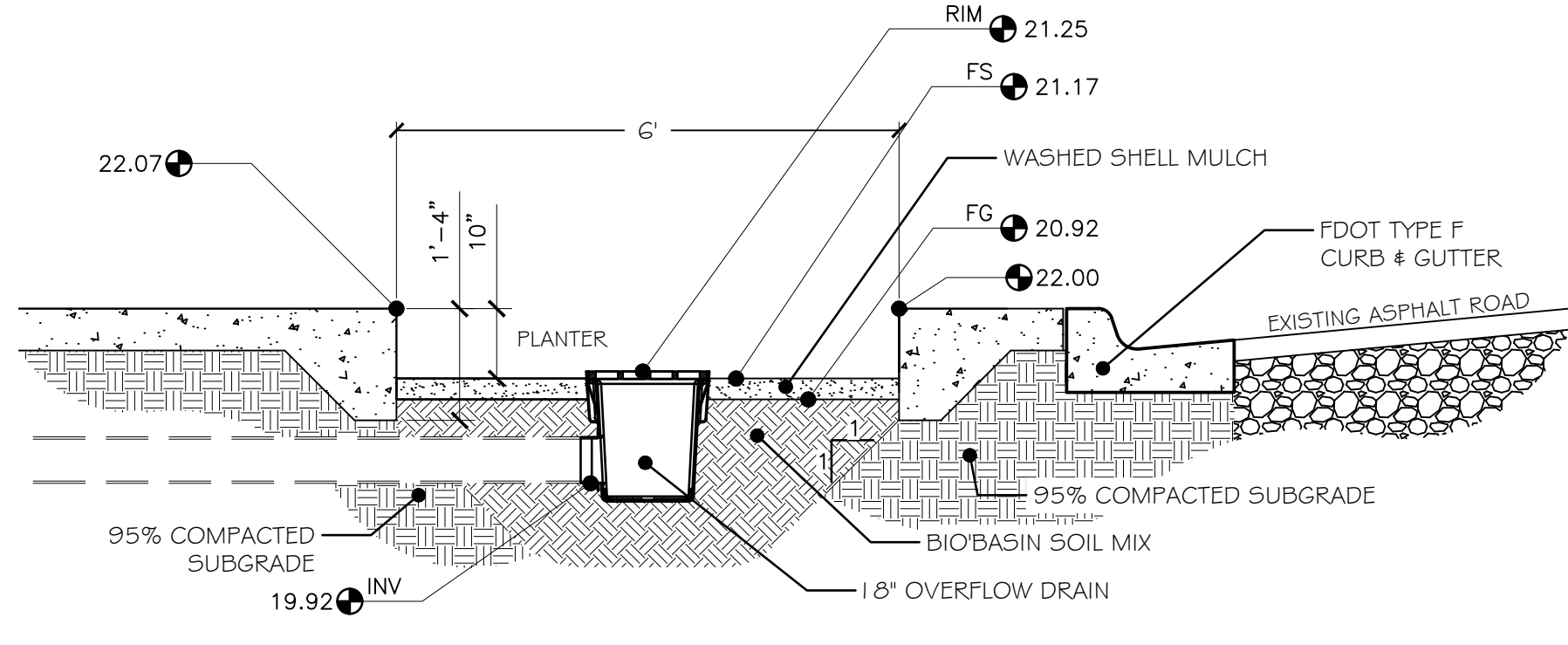
2 BIO'BASIN #1 - SECTION B
SCALE: 1/2" = 1'-0"



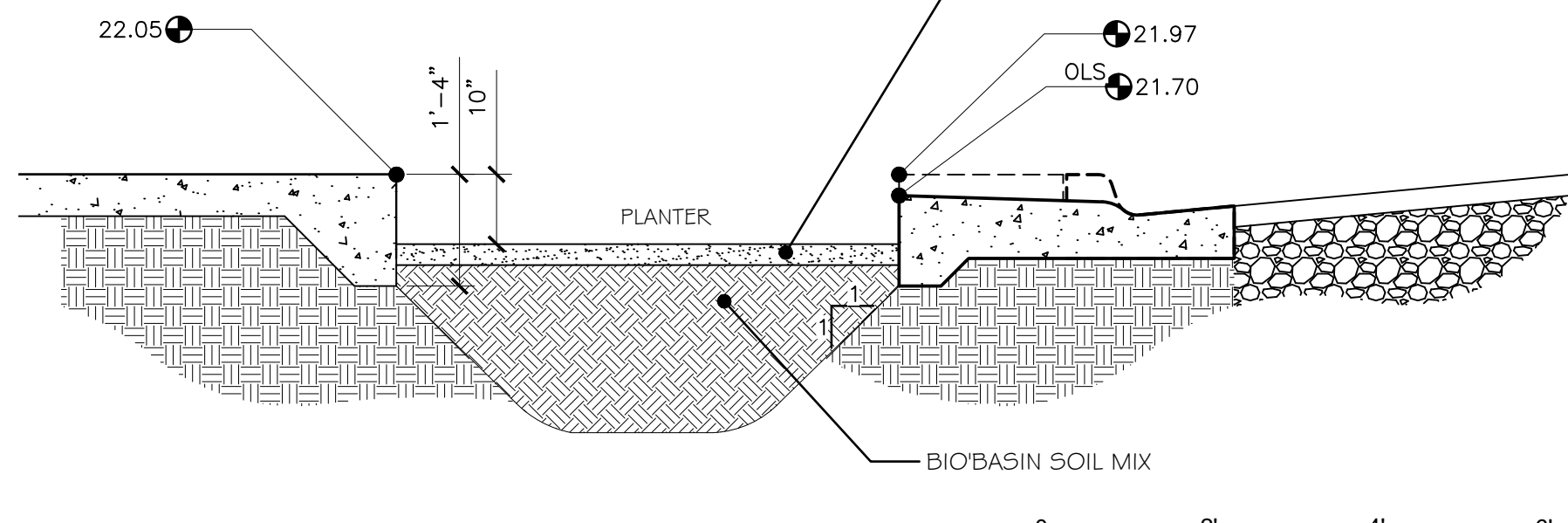
3 BIO'BASIN #1 - PLAN DETAIL
SCALE: 1/2" = 1'-0"



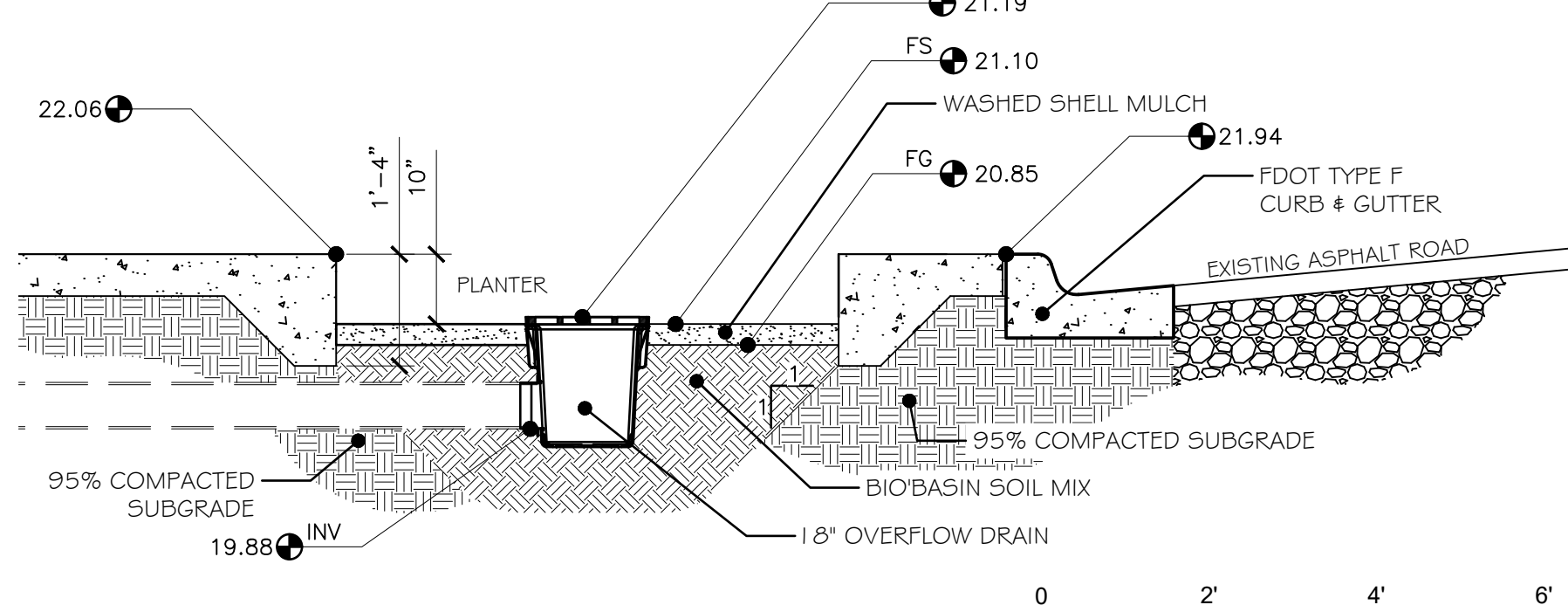
4 BIO'BASIN #1 - SECTION C
SCALE: 1/2" = 1'-0"



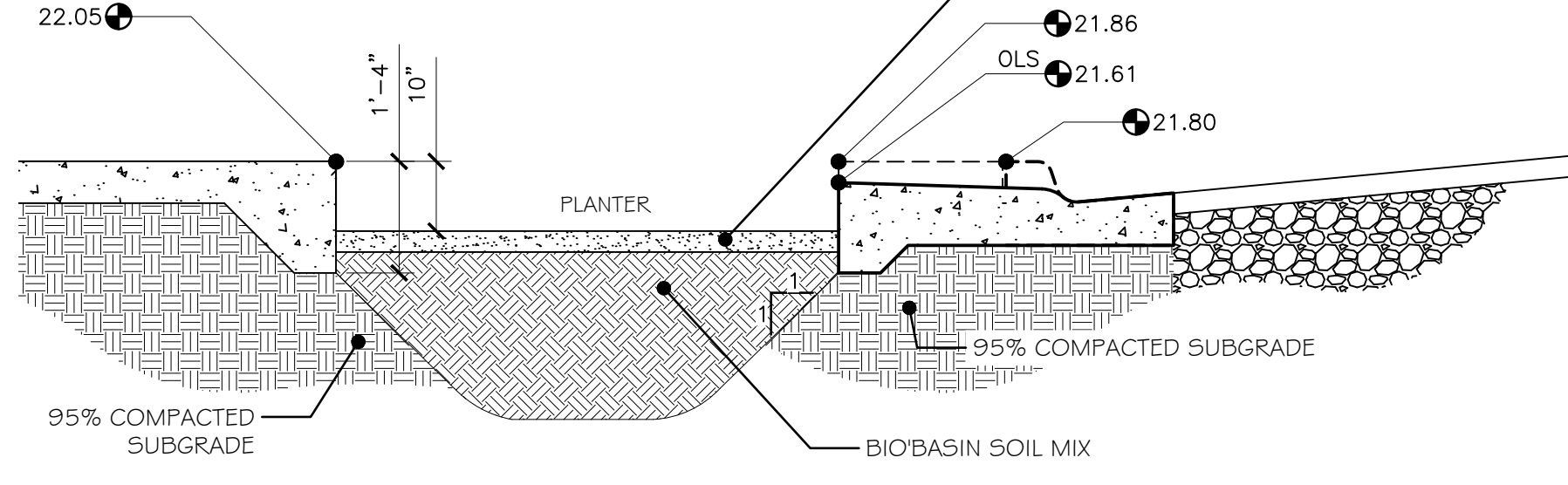
5 BIO'BASIN #2 - SECTION A
SCALE: 1/2" = 1'-0"



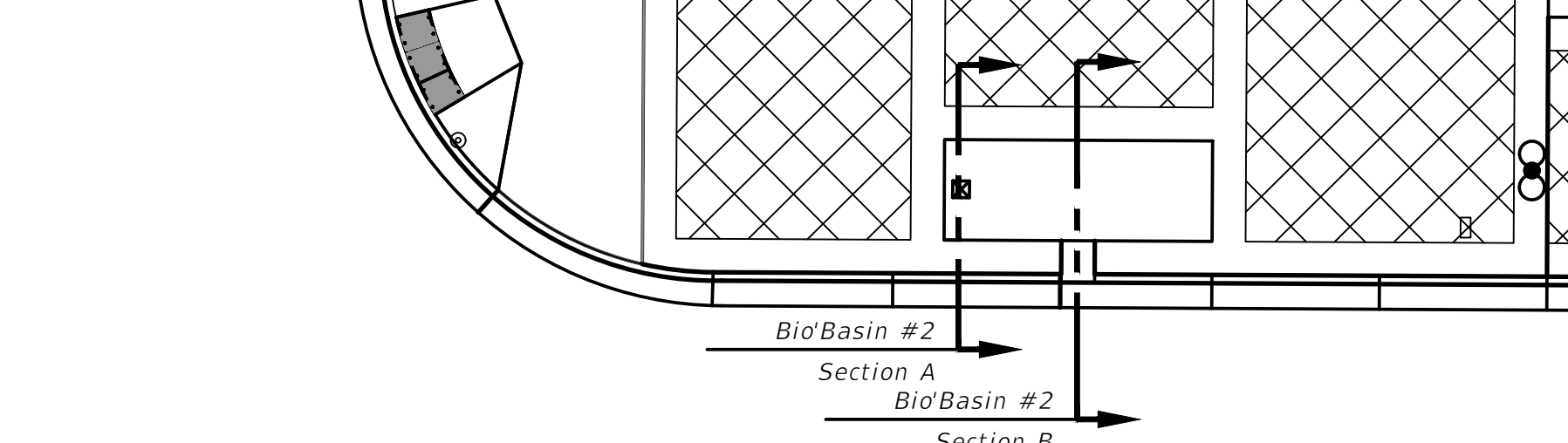
6 BIO'BASIN #2 - SECTION B
SCALE: 1/2" = 1'-0"



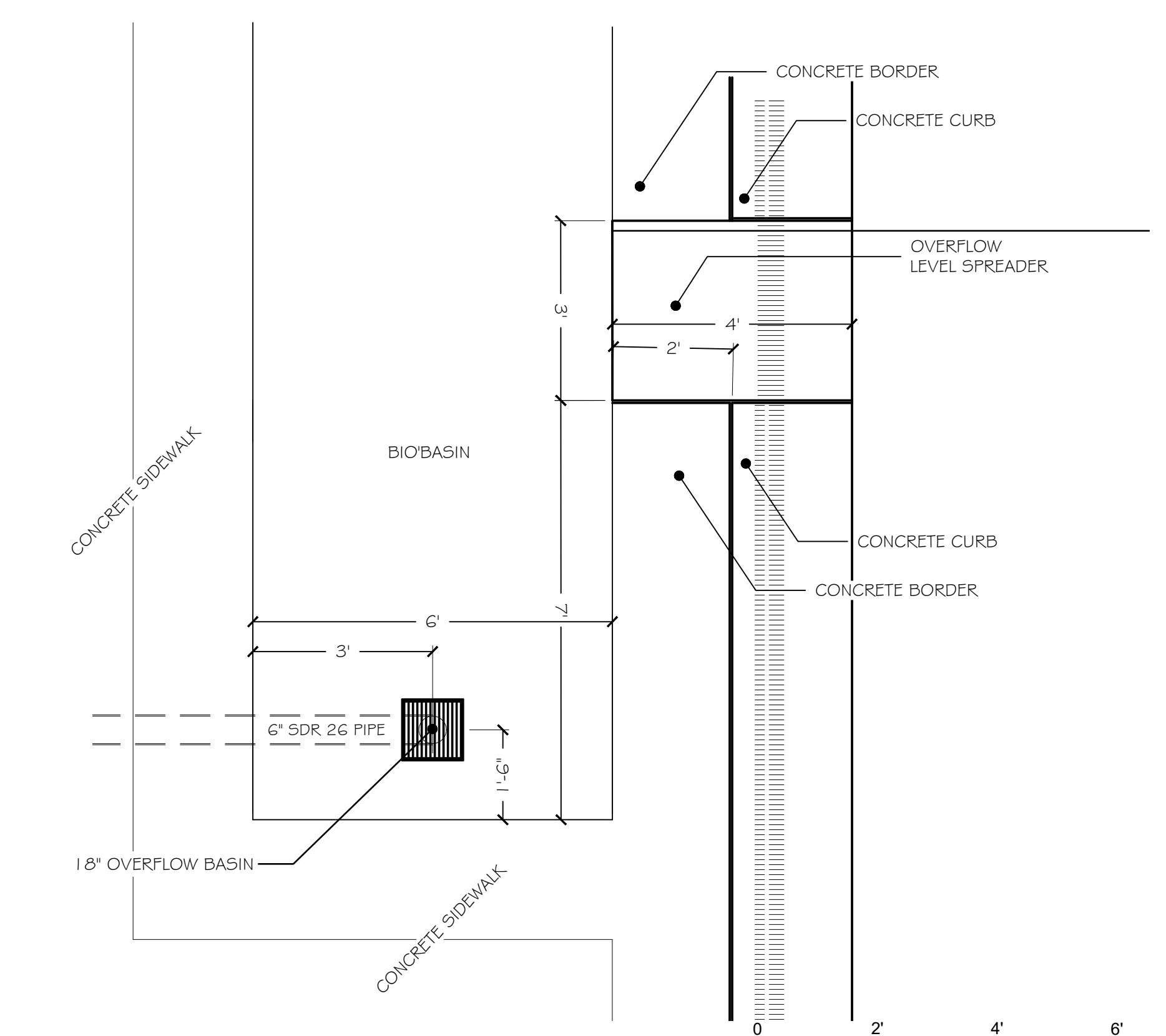
7 BIO'BASIN #3 - SECTION A
SCALE: 1/2" = 1'-0"



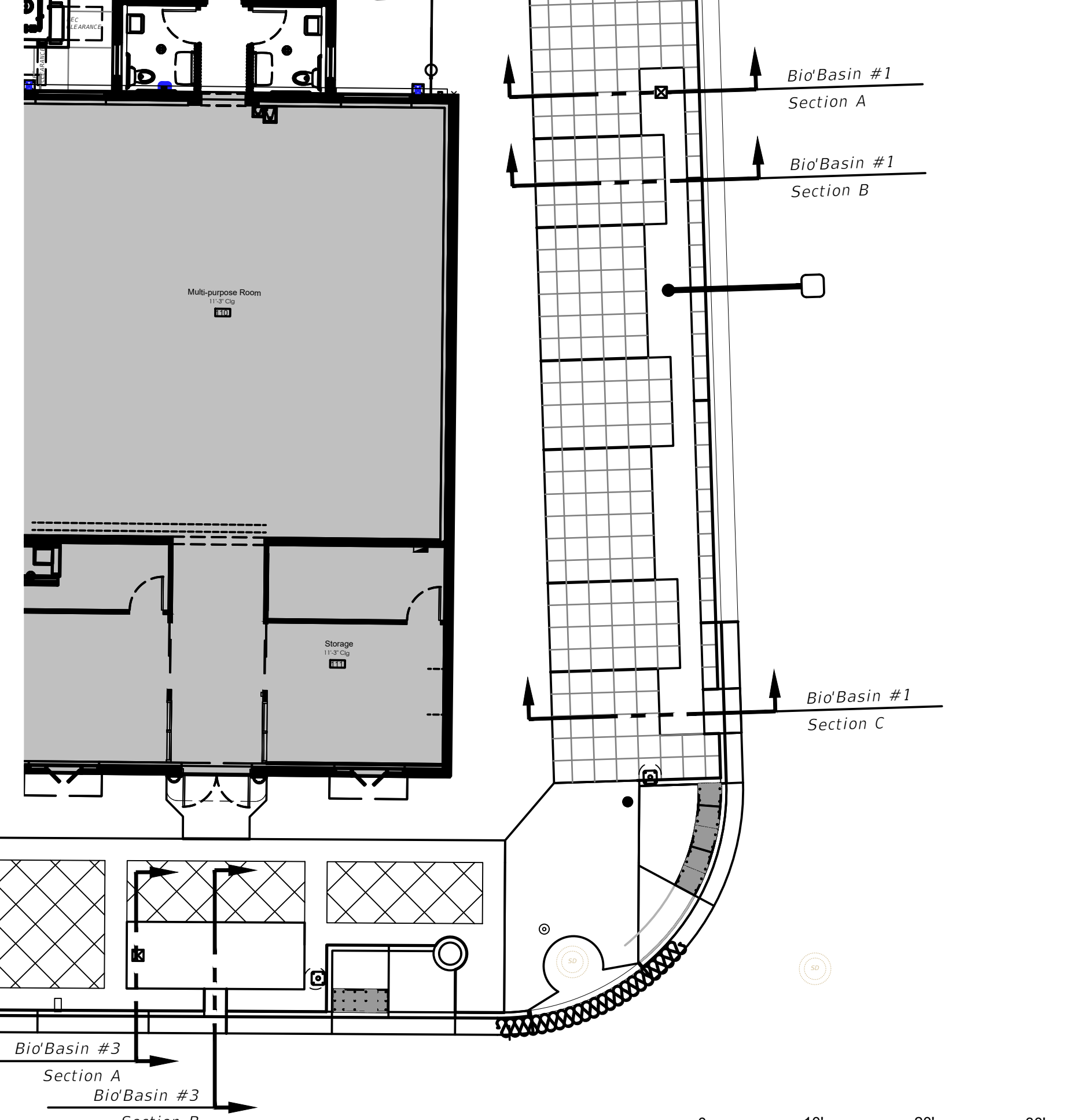
8 BIO'BASIN #3 - SECTION B
SCALE: 1/2" = 1'-0"



9 BIO'BASIN CALLOUT PLAN
SCALE: 1" = 10'-0"



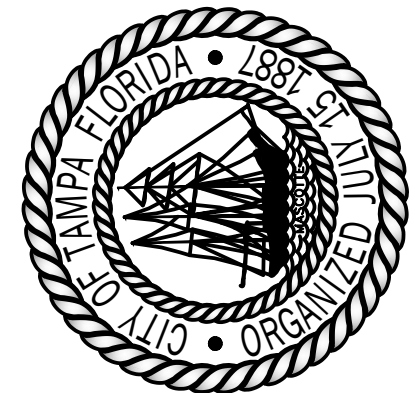
10 BIO'BASIN #2 & #3 - PLAN DETAIL
SCALE: 1/2" = 1'-0"



SCALE: 1" = 10'-0"

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KID MASON CENTER
RENOVATION
ACCESS RAMPS



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of	44 Sheets

2'X5' REPLACEABLE CAST IN PLACE
2.35" DOME SPACING

www.AccessTile.com 888-679-4022

Access Products Inc.

ACCESS TILE
TRUNCATED DOME, DETECTABLE
WARNING, TACTILE SURFACE
2'X5' REPLACEABLE CAST IN PLACE
RAMP, SOME TILE SPACING

ACCESS TILE
TRUNCATED DOME, DETECTABLE
WARNING, TACTILE SURFACE
2'X5' REPLACEABLE CAST IN PLACE
RAMP, SOME TILE SPACING

3 TYPICAL RECTANGULAR ACCESS TILE UNIT

RADIUS REPLACEABLE CAST IN PLACE RADIUS TILE
2.35" DOME SPACING

AccessTile.com
Tactile Systems
888-679-4022

Access Products Inc.

ACCESS TILE
TRUNCATED DOME, DETECTABLE
WARNING, TACTILE SURFACE
RADIUS TILE, SOME TILE SPACING

ACCESS TILE
TRUNCATED DOME, DETECTABLE
WARNING, TACTILE SURFACE
RADIUS TILE, SOME TILE SPACING

9 TYPICAL RADIUS ACCESS TILE UNIT

1 RAMP CALL OUT PLAN
LS504
SCALE: 1" = 20'-0"

2 RAMP #1
DETAIL PLAN
LS504
SCALE: 1/4" = 1'-0"

4 RAMP #2
DETAIL PLAN
LS504
SCALE: 1/4" = 1'-0"

2'X2' REPLACEABLE CAST IN PLACE
2.35" DOME SPACING

3 LS504

2'X3' REPLACEABLE CAST IN PLACE
2.35" DOME SPACING

3 LS504

5 RAMP #3
DETAIL PLAN
LS504

6 RAMP #4
DETAIL PLAN
LS504

7 2'x2' AccessTile Unit
LS504

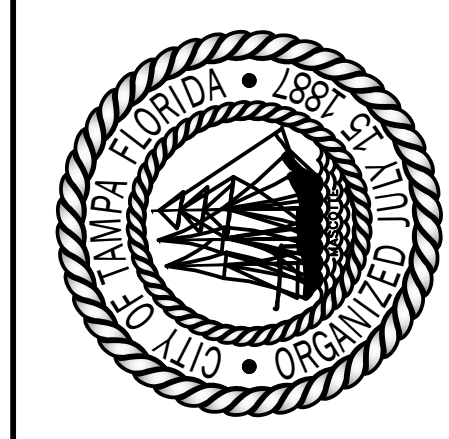
8 2'x3' AccessTile Unit
LS504

DETECTIBLE WARNING NOTES

- THE BASIS OF DESIGN IS AccessTile, manufactured by Access Products Inc. Substitutions may be allowed if pre-approved in writing by the owner. Essential elements required to meet approval of substitution are below. Install per manufacturer's recommendations and details..
- Minimum manufacturer's warranty: 5 year
- Cast-in-place with Replaceable tile system with Tamper Proof Stainless Steel Fasteners - on FDOT Approved Product List
- Consistent Dome Spacing
- Color: Onyx Black (BK) - FED 17038 / RAL 9005
- Compliant with Americans with Disabilities Act (ADA) (Title III Regulations, 28 CFR Part 36 ADA STANDARDS FOR ACCESSIBLE DESIGN, Appendix A, Section 4.29.2 DETECTABLE WARNINGS ON WALKING SURFACES).

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KID MASON CENTER
RENOVATION
DOWNSPOUT & GUTTER PLAN
PROJECT SHEET



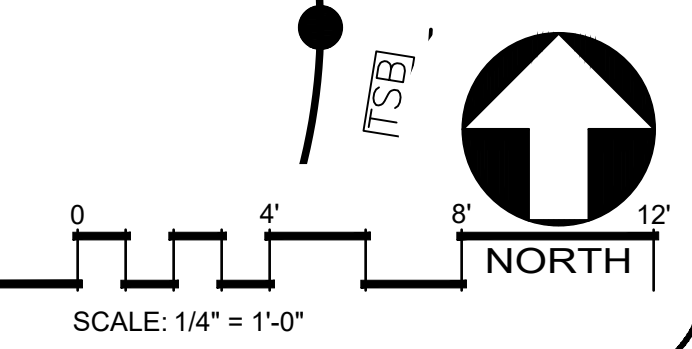
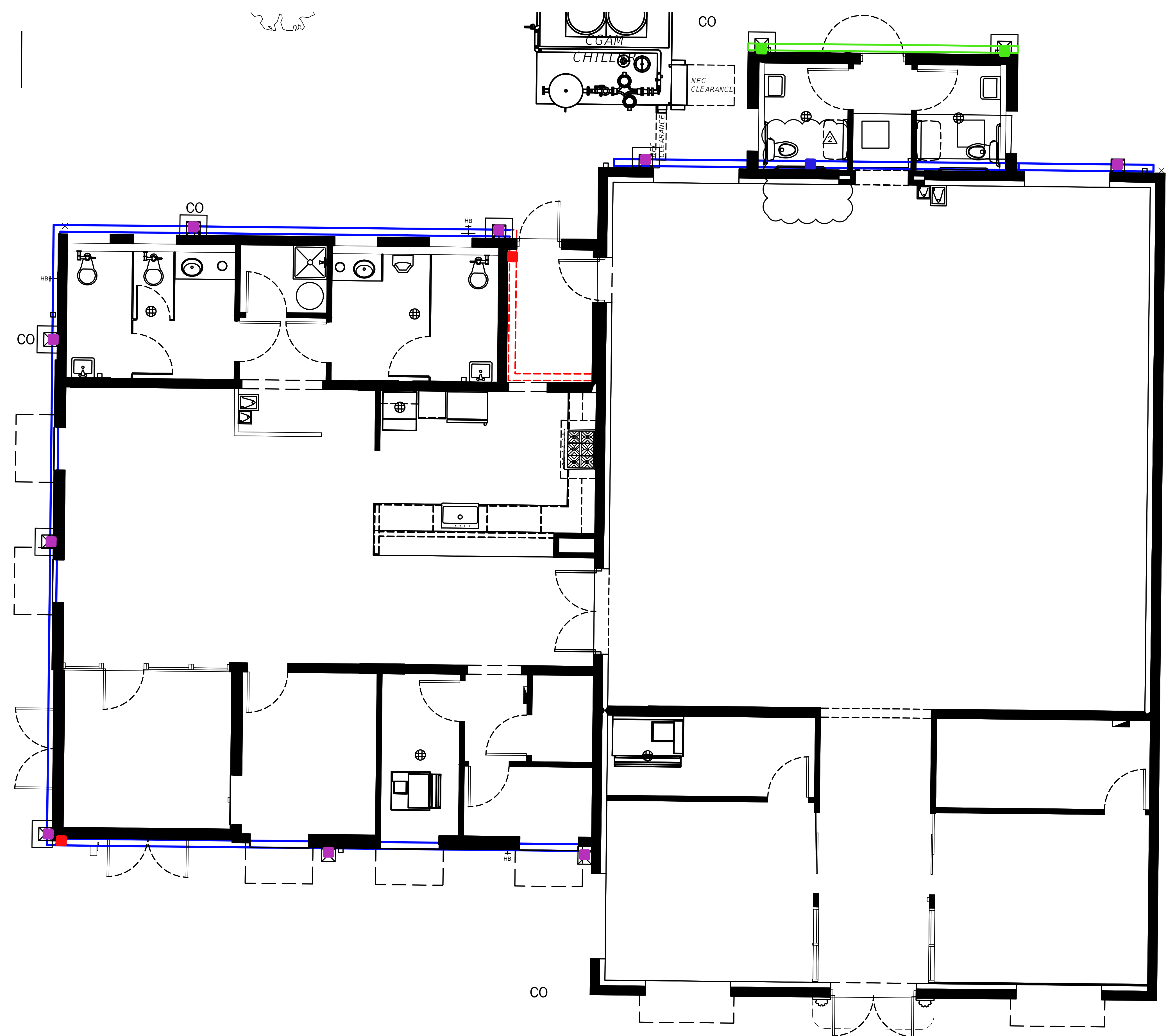
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of 45	Sheets

GUTTER/DOWNSPOUT LEGEND

- EXISTING STAINLESS STEEL GUTTER TO REMAIN
- REMOVE EXISTING STAINLESS STEEL GUTTER TO MATCH EXISTING
- NEW EXISTING STAINLESS STEEL GUTTER TO MATCH EXISTING
- EXISTING STAINLESS STEEL DOWNSPOUT TO REMAIN
- REMOVE EXISTING STAINLESS STEEL DOWNSPOUT TO DROP ON NEW ROOF.
- CUT EXISTING STAINLESS STEEL DOWNSPOUT TO DROP ON NEW ROOF.
- NEW STAINLESS STEEL DOWNSPOUT TO MATCH EXISTING



1 DOWNSPOUT & GUTTER PLAN
LS505

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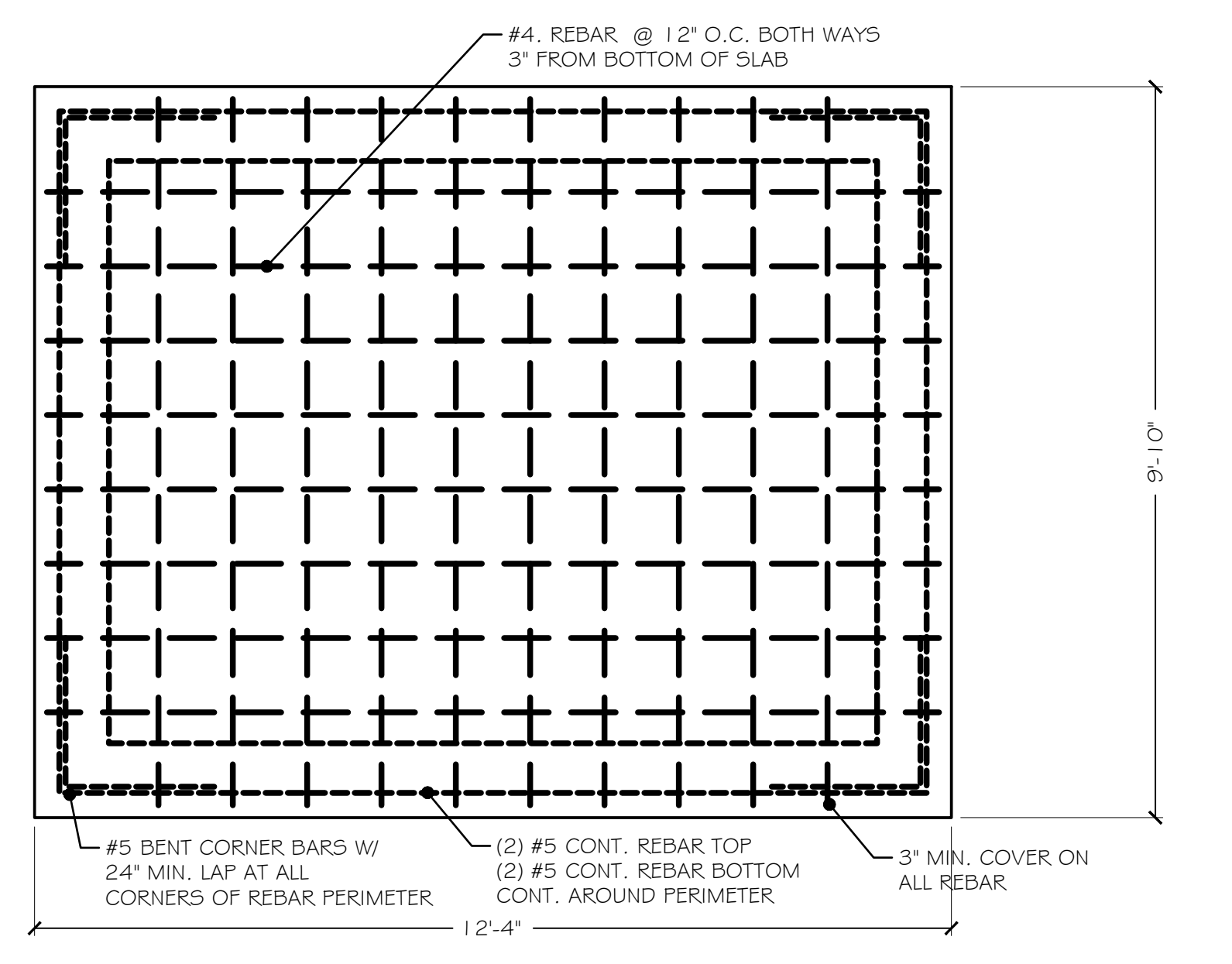
KID MASON CENTER
RENOVATION
PAVING DETAILS



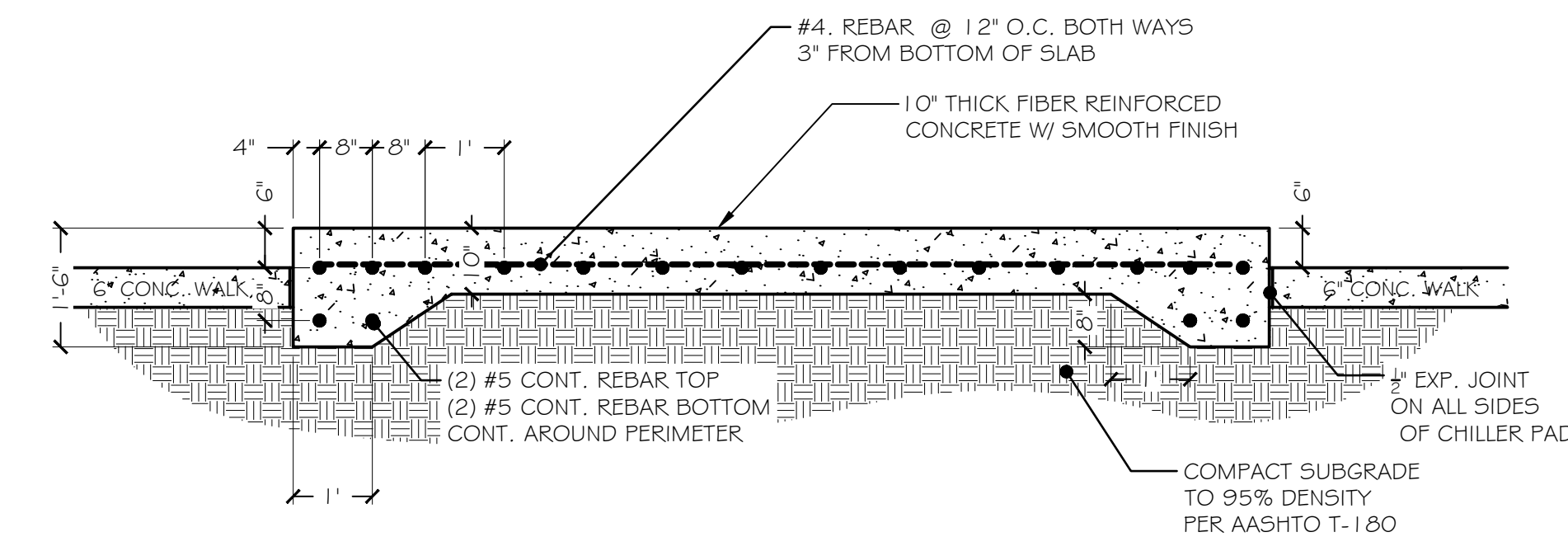
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Tampa, FL 33607



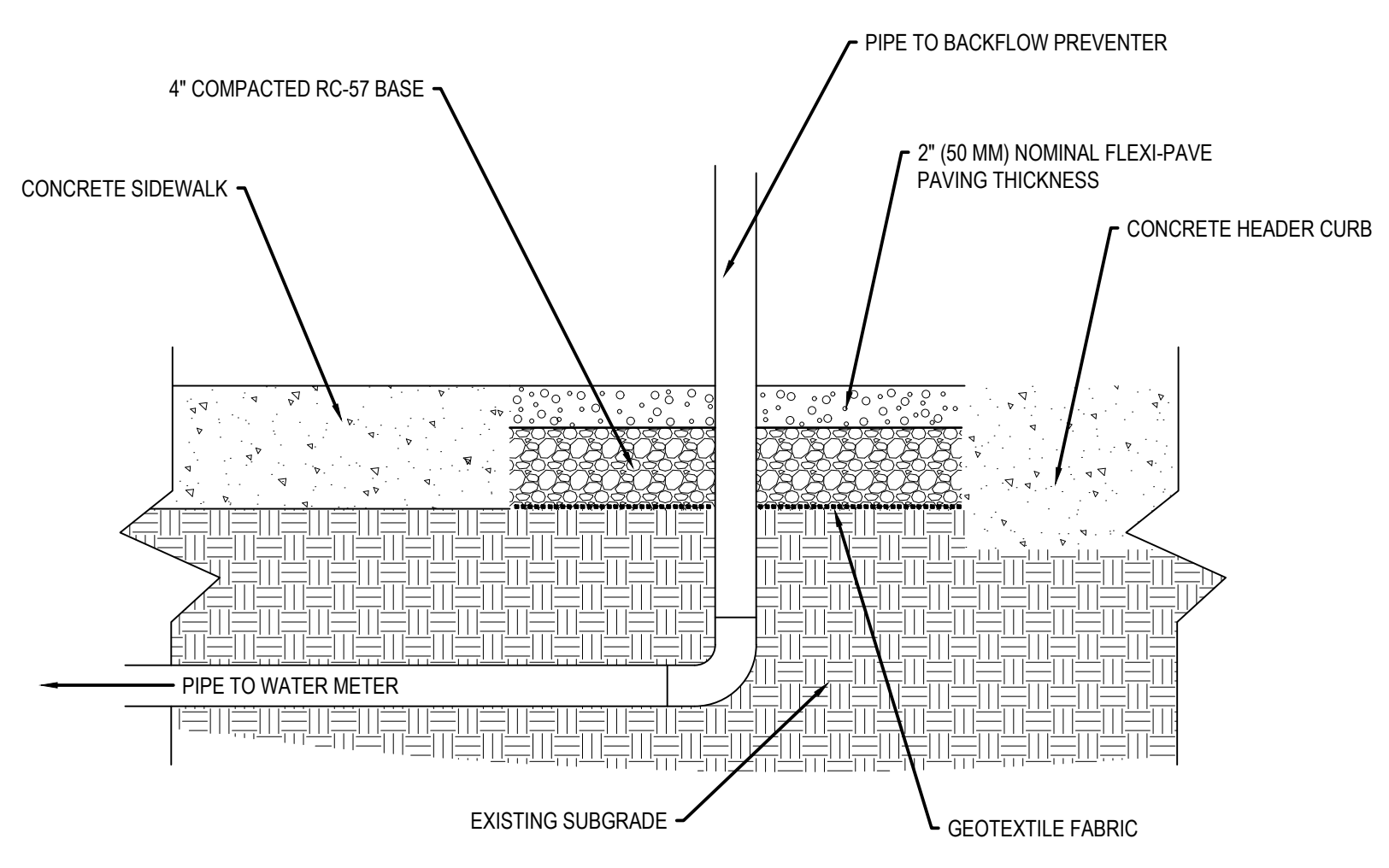
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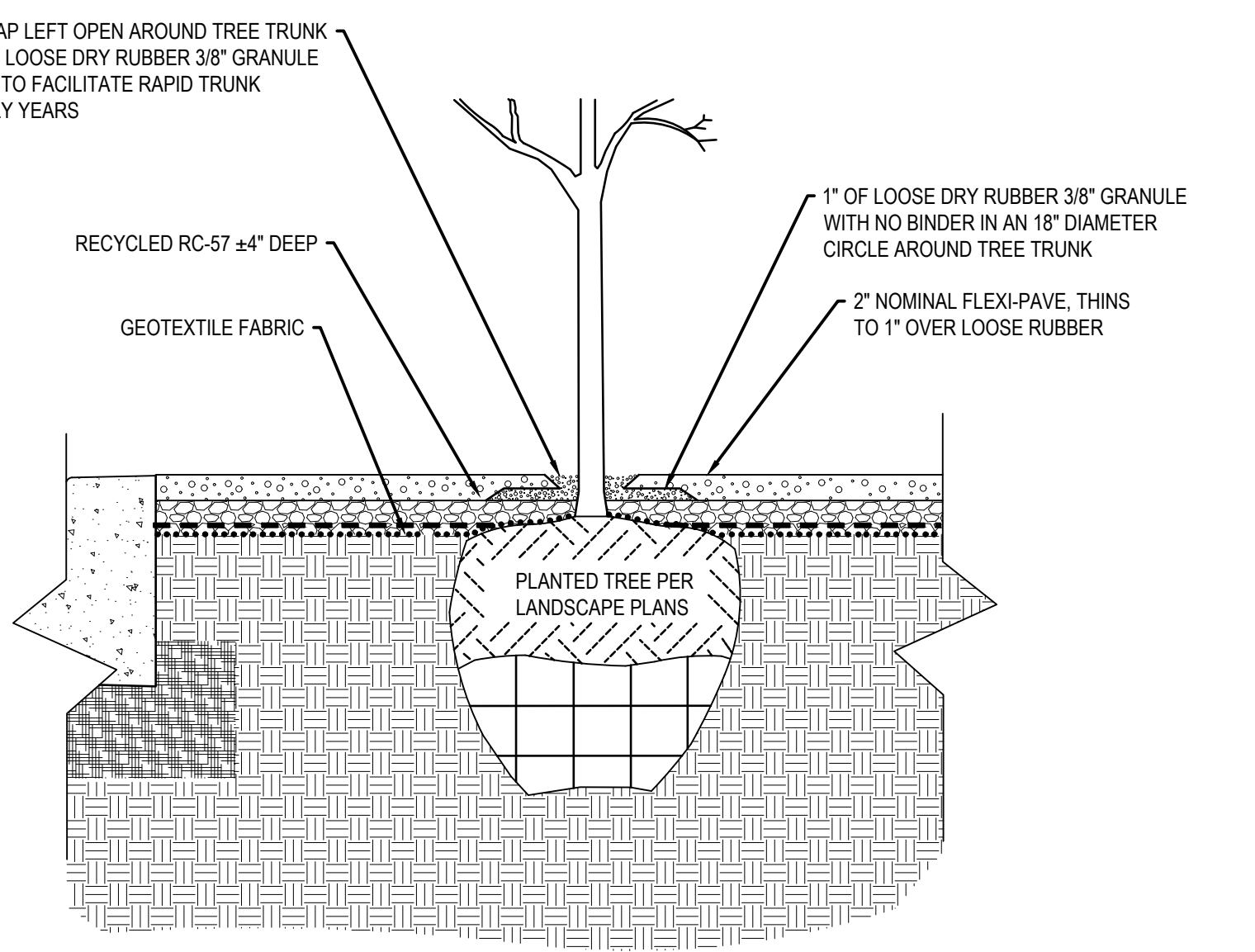
8 10" REINFORCED CHILLER PAD PLAN
SCALE: 1/2" = 1'-0"



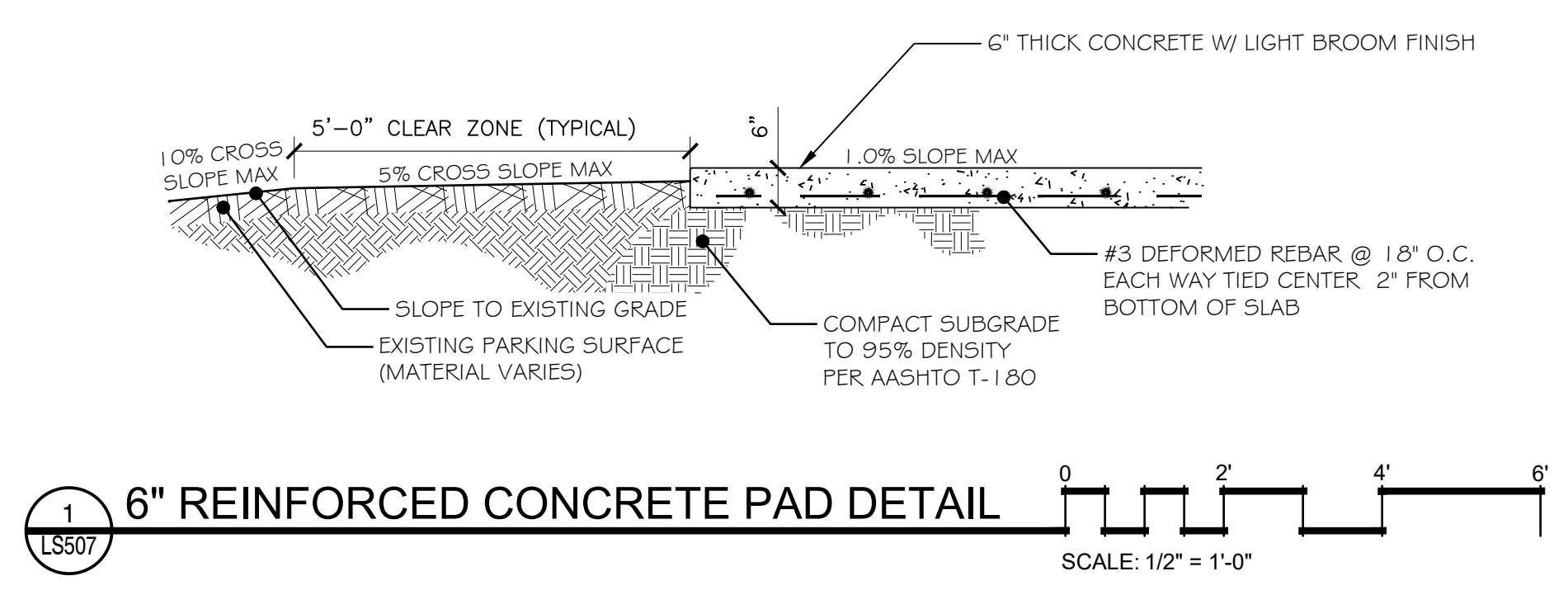
9 10" REINFORCED CHILLER PAD SECTION
SCALE: 1/2" = 1'-0"



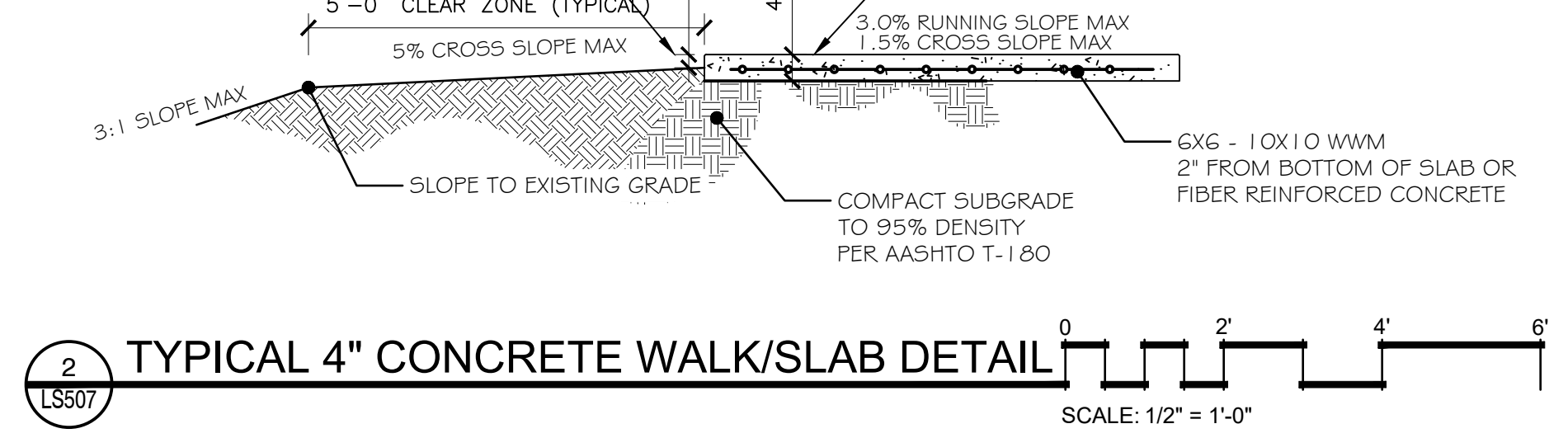
6 FLEXI-PAVE AROUND BACKFLOW PREVENTER



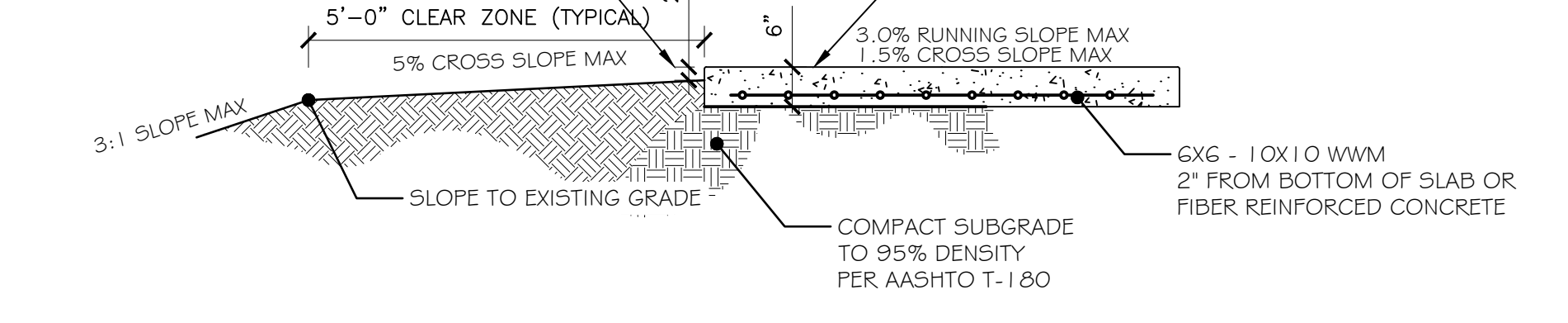
7 FLEXI-PAVE AROUND TREE



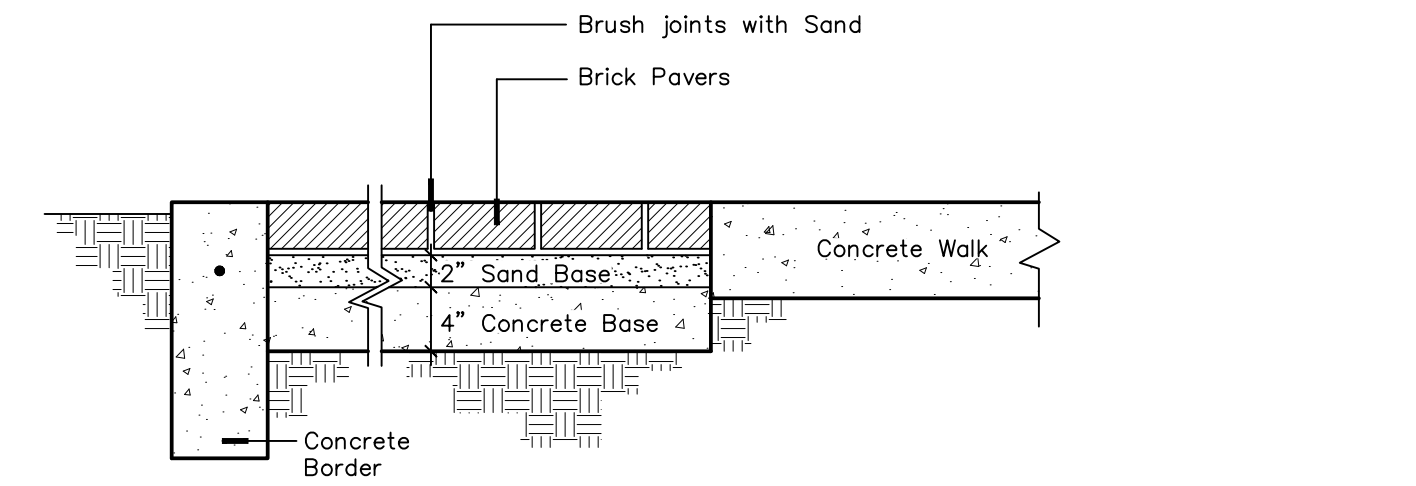
1 6" REINFORCED CONCRETE PAD DETAIL
SCALE: 1/2" = 1'-0"



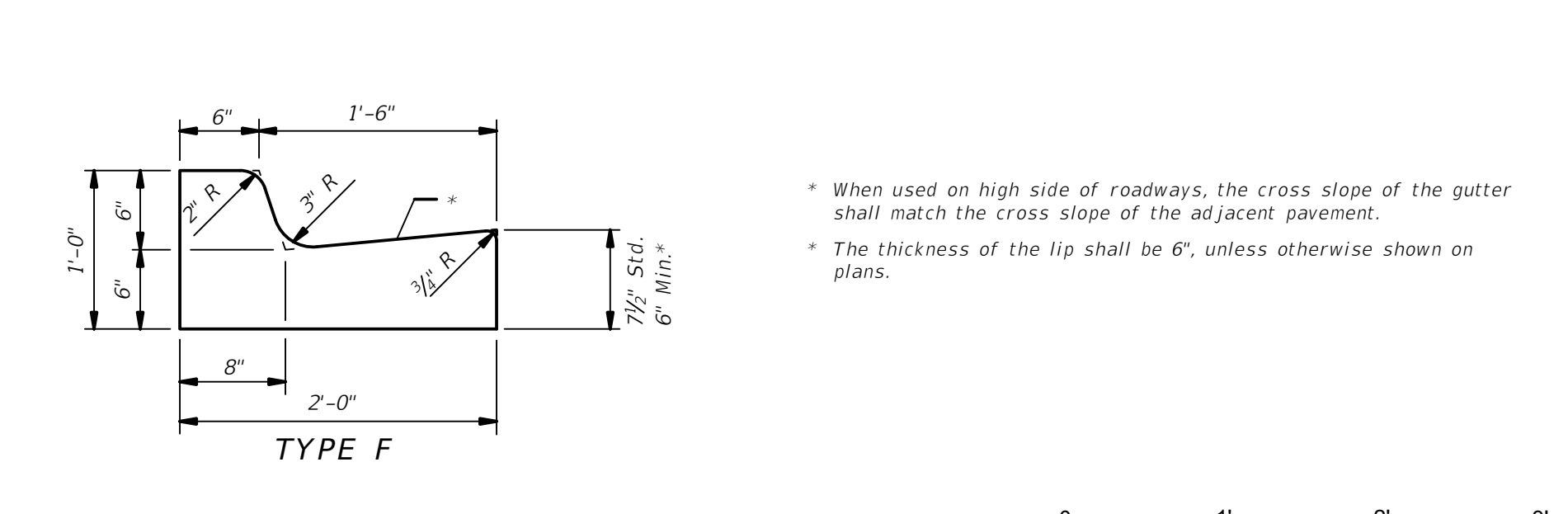
2 TYPICAL 4" CONCRETE WALK/SLAB DETAIL
SCALE: 1/2" = 1'-0"



3 TYPICAL 6" CONCRETE WALK/SLAB DETAIL
SCALE: 1/2" = 1'-0"

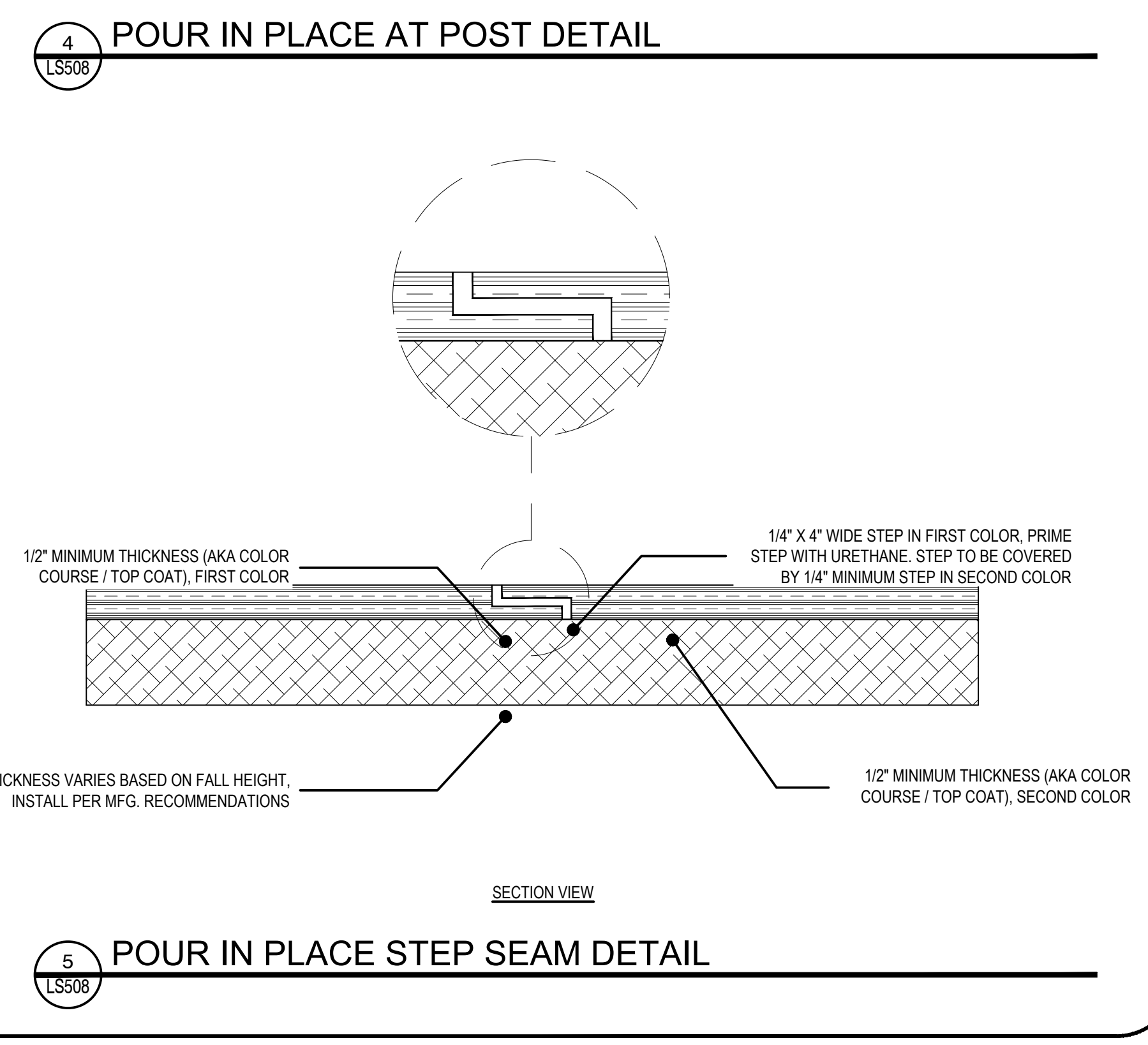
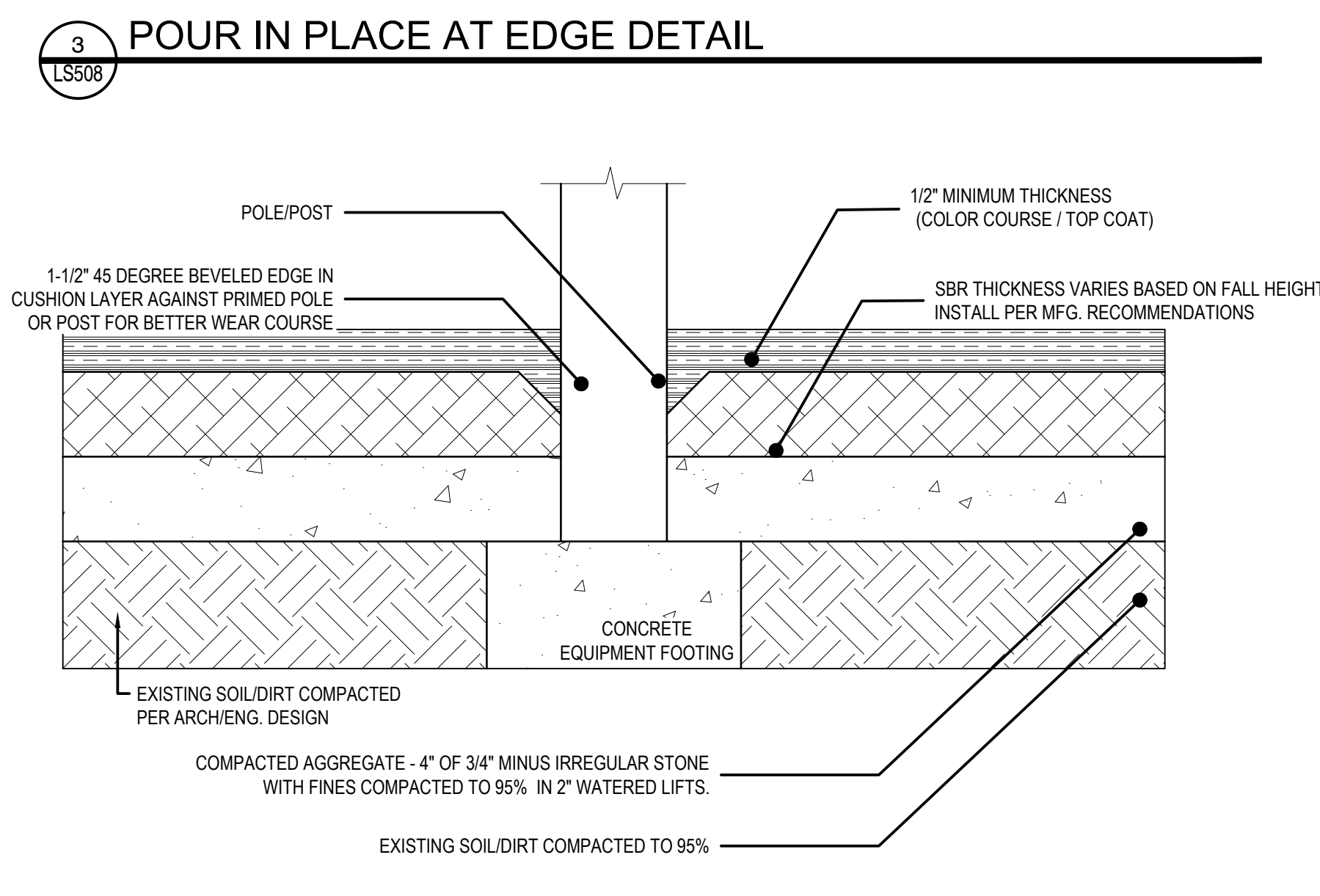
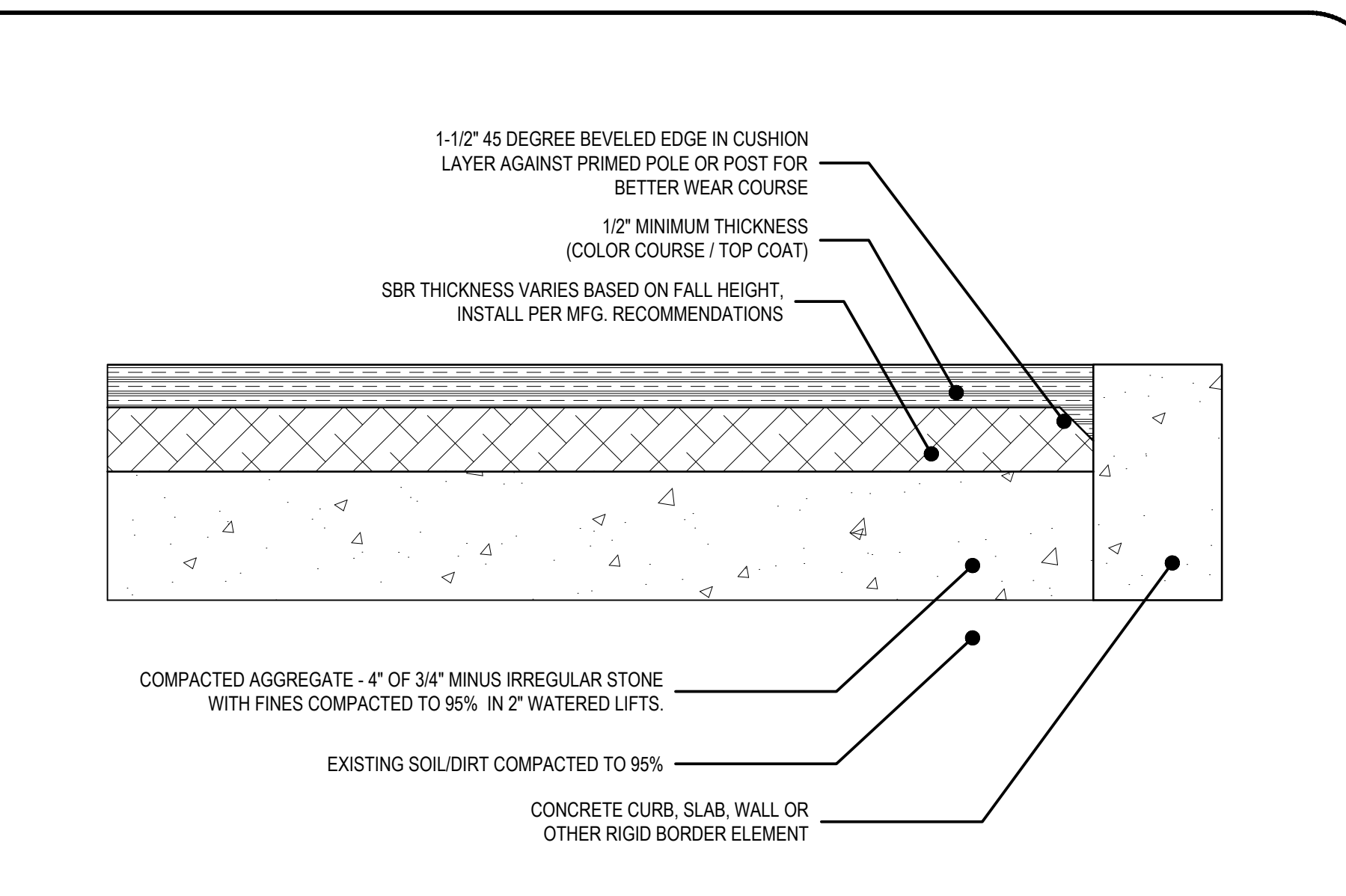
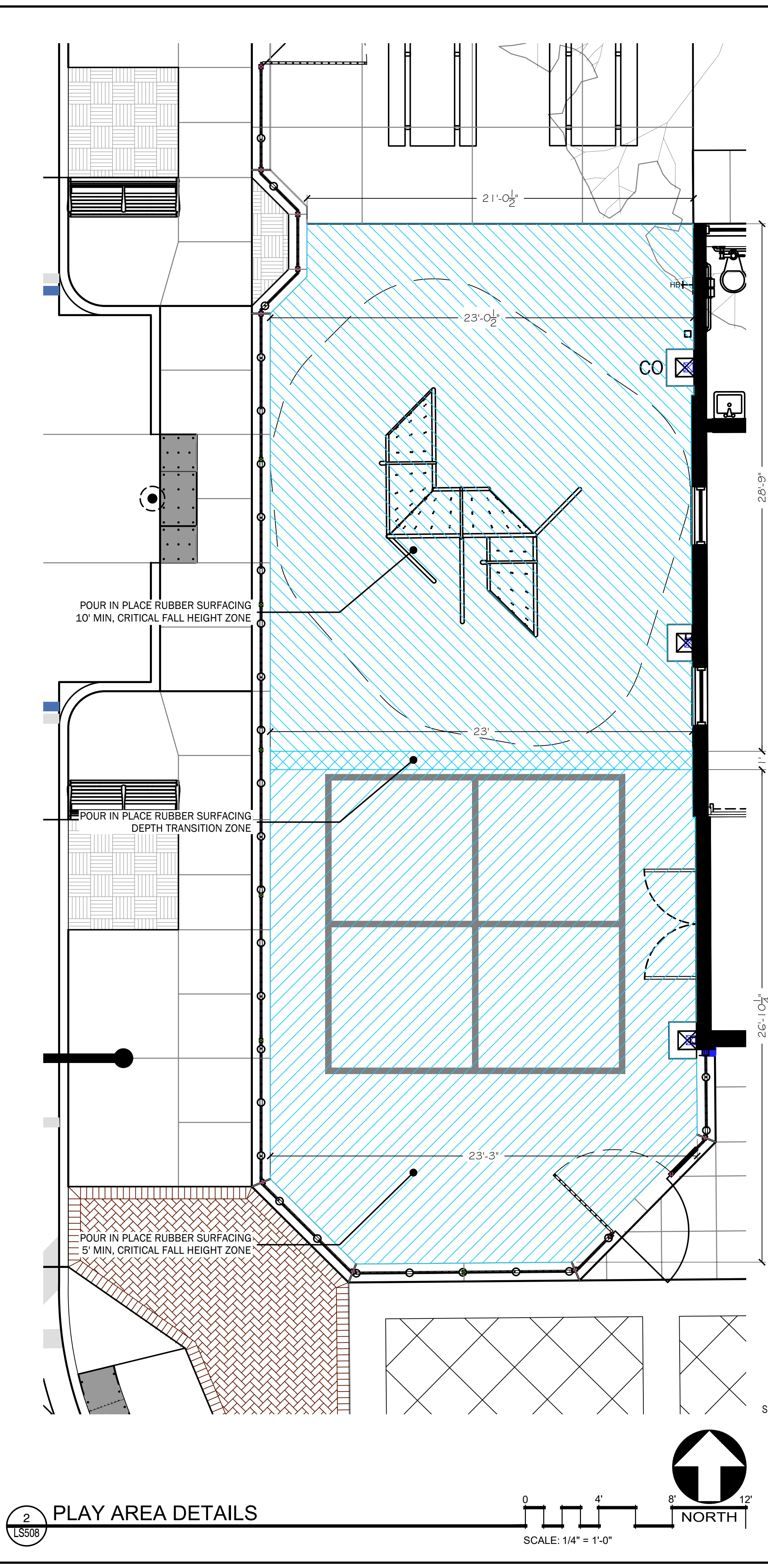
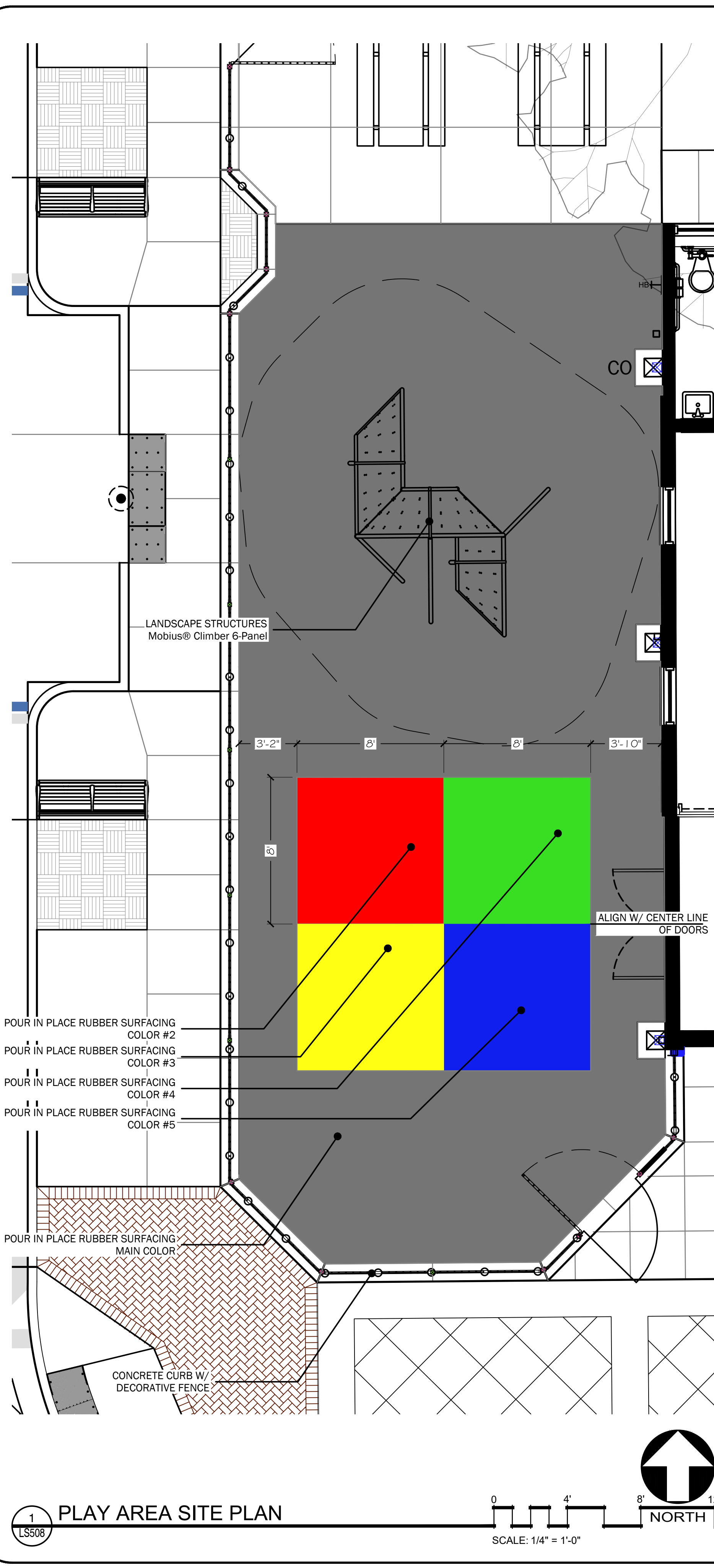
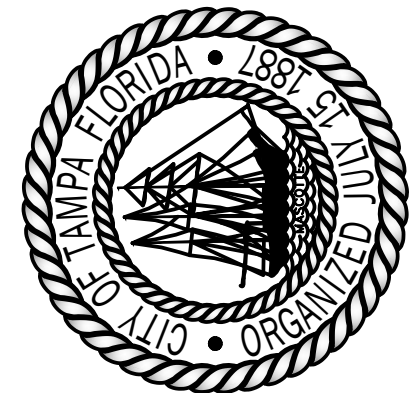


4 TYPICAL BRICK PAVING DETAIL
SCALE: 1" = 1'-0"



5 TYPICAL TYPE "F" CURB & GUTTER
SCALE: 1" = 1'-0"

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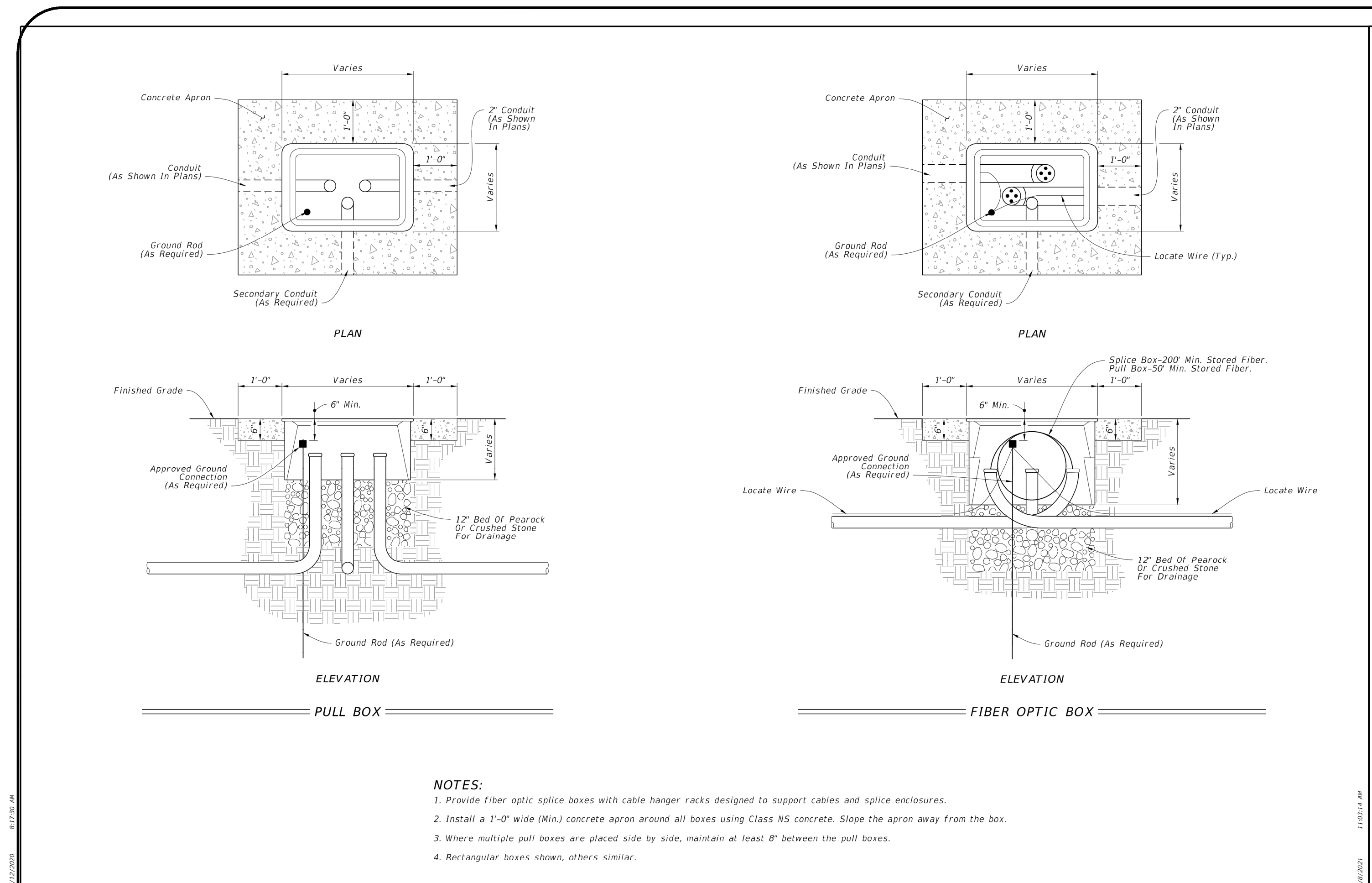
KID MASON CENTER
RENOVATION
SIGNALIZATION DETAILS



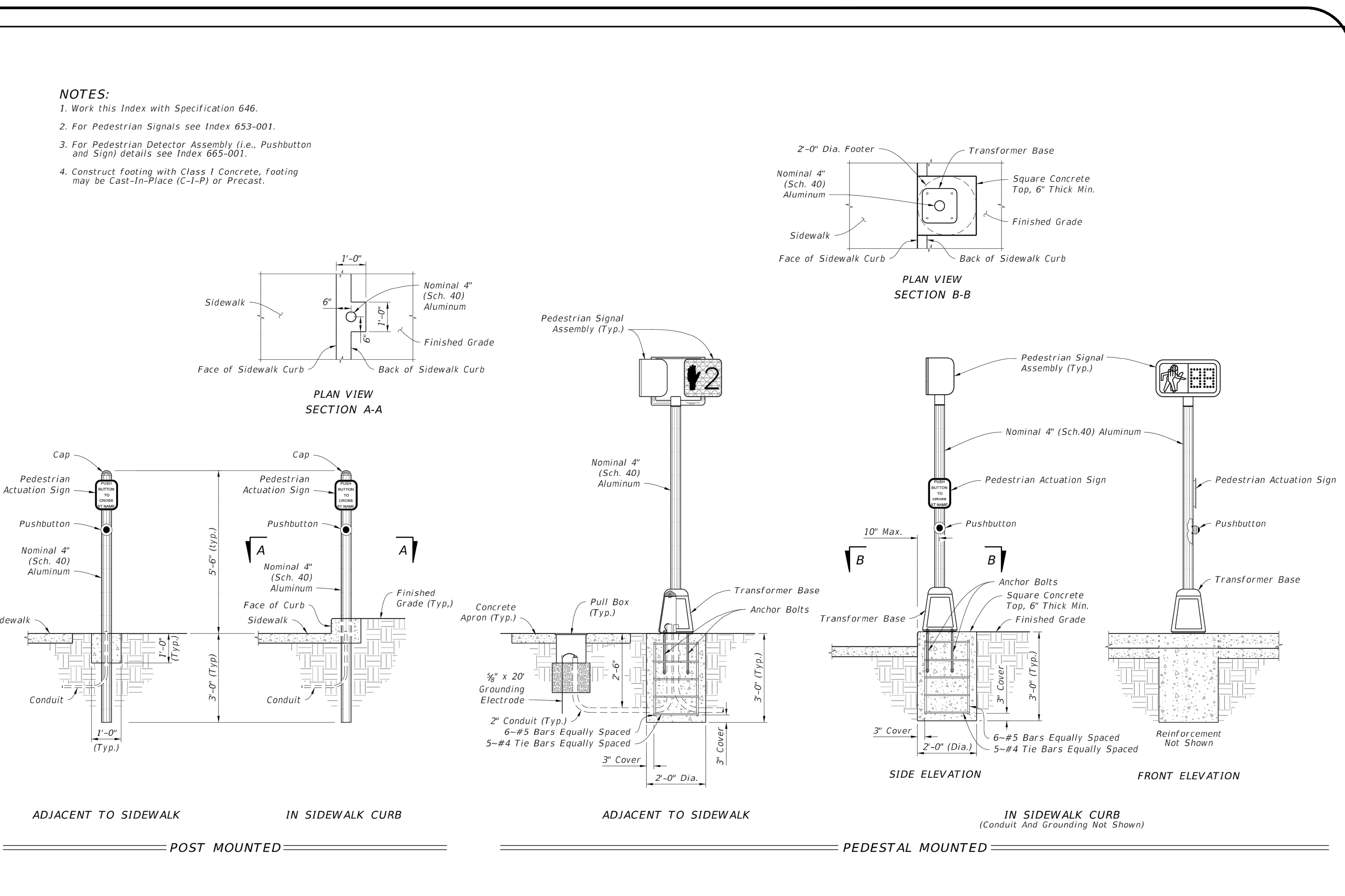
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3402 W. Columbus Drive
Tampa, FL 33607



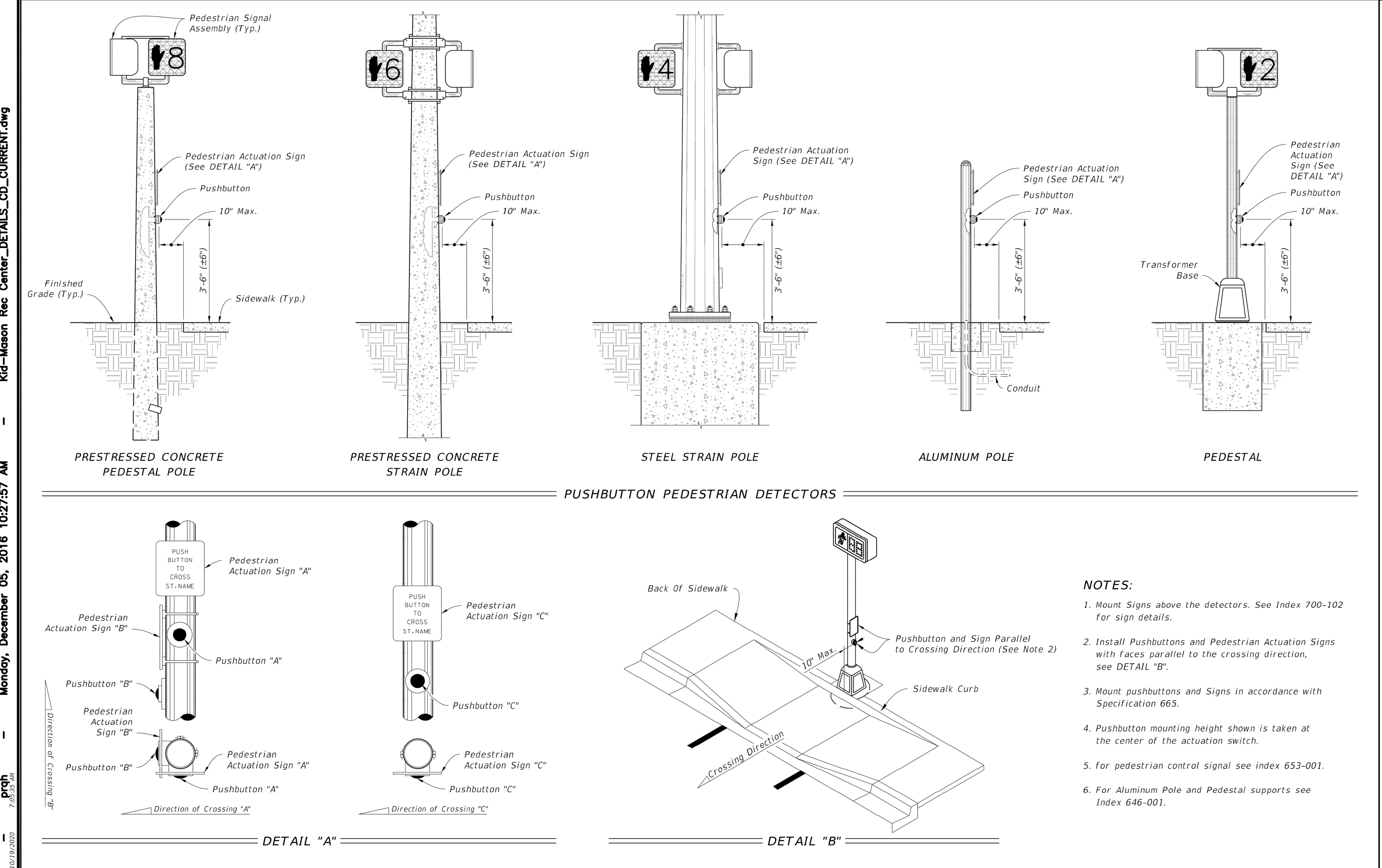
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of	44 Sheets



LAST REVISION 11/01/18	DESCRIPTION:	FY 2021-22 STANDARD PLANS	PULL AND SPLICE BOXES	INDEX 635-001	SHEET 1 of 1
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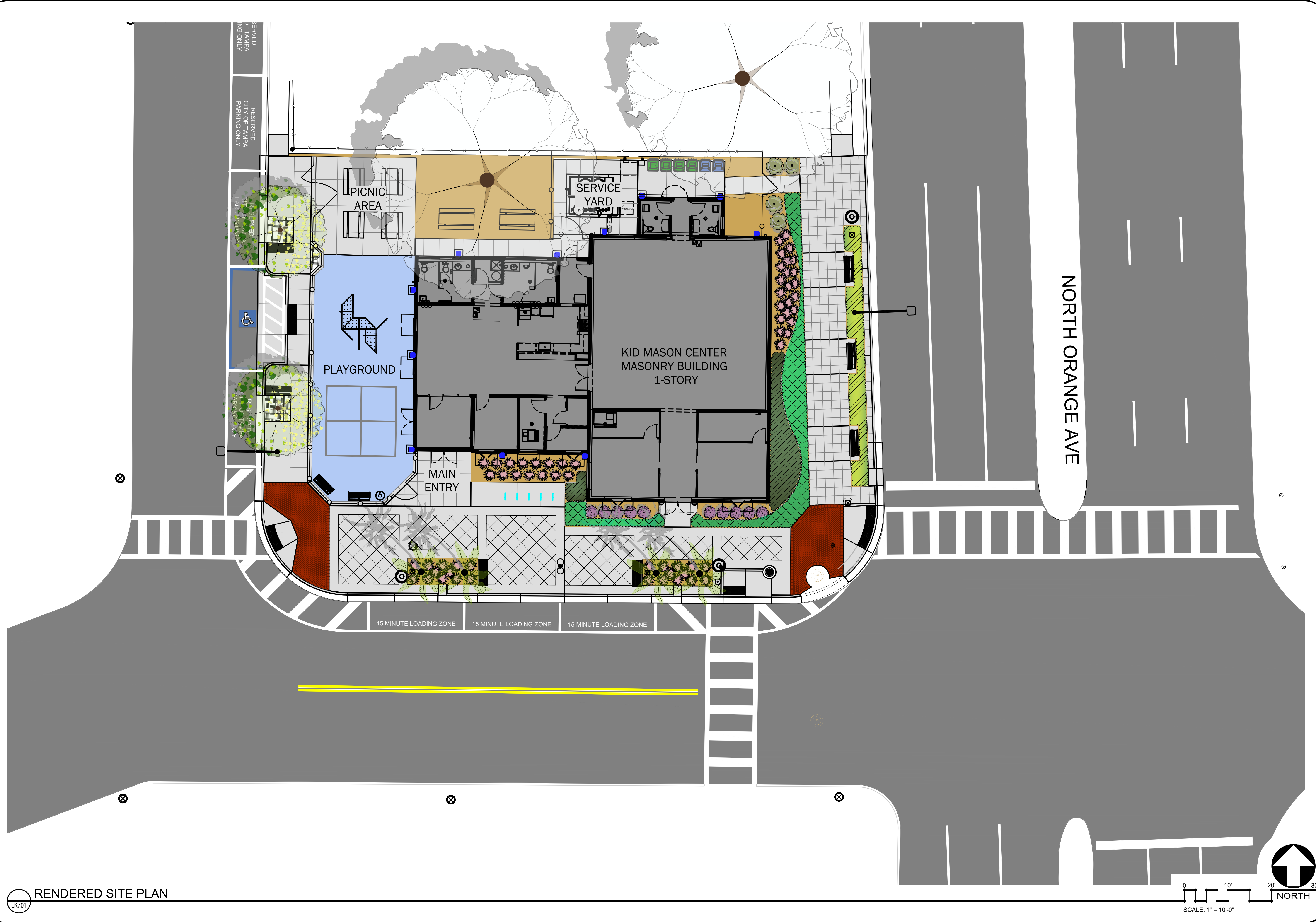
LAST REVISION 11/01/20	DESCRIPTION:	FY 2021-22 STANDARD PLANS	ALUMINUM POST AND PEDESTAL MOUNTED PEDESTRIAN DETECTORS AND SIGNALS	INDEX 646-001	SHEET 1 of 1
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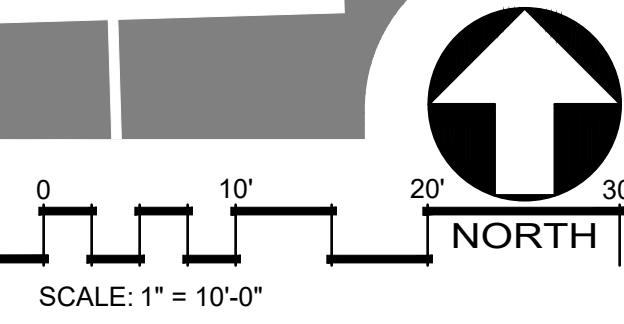
LAST REVISION 11/01/20	DESCRIPTION:	FY 2021-22 STANDARD PLANS	PEDESTRIAN DETECTOR ASSEMBLY INSTALLATION DETAILS	INDEX 665-001	SHEET 1 of 1
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User135 11/01/2020 10:27:57 AM Monday, December 05, 2016 10:27:57 AM Kld-Mason Rec Center_DETAILS_CD_CURRENT.dwg

Users135 - prgh - Monday, December 05, 2016 10:27:57 AM - Kid-Mason Rec Center_SITE_CD_CURRENT.dwg



1 RENDERED SITE PLAN
LK701



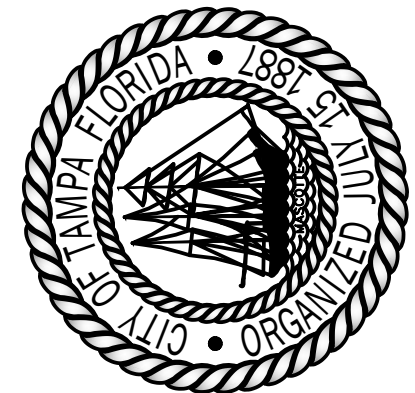
City of Tampa
CONSTRUCTION SERVICES DIVISION
PLAN APPROVAL
BLD-22-0491693 9/6/2022
THIS SET OF PLANS MUST BE KEPT ON THE JOB AT ALL TIMES.

No.	Revisions	Date
1)	BLD REV	6/8/22

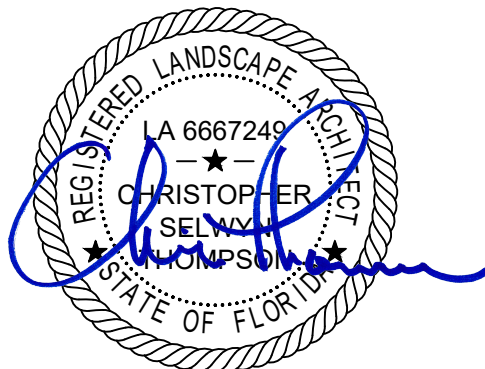
The planning of this project shall be held to permit or approve the violation of any City or State Codes REQUIRED FOR CODE COMPLIANCE

KID MASON CENTER
RENOVATION
RENDERED SITE PLAN

PROJECT SHEET



Parks & Recreation
CITY OF TAMPA
Planning and Design
3402 W. Columbus Drive
Tampa, FL 33607



Drawn:	CT
Checked:	KP
Approved:	CT
Date:	MARCH 9, 2022
Sheet Size:	ARCH D
Sheet Scale:	1/4" = 1'-0"
Sheet	LK701
of	45 Sheets

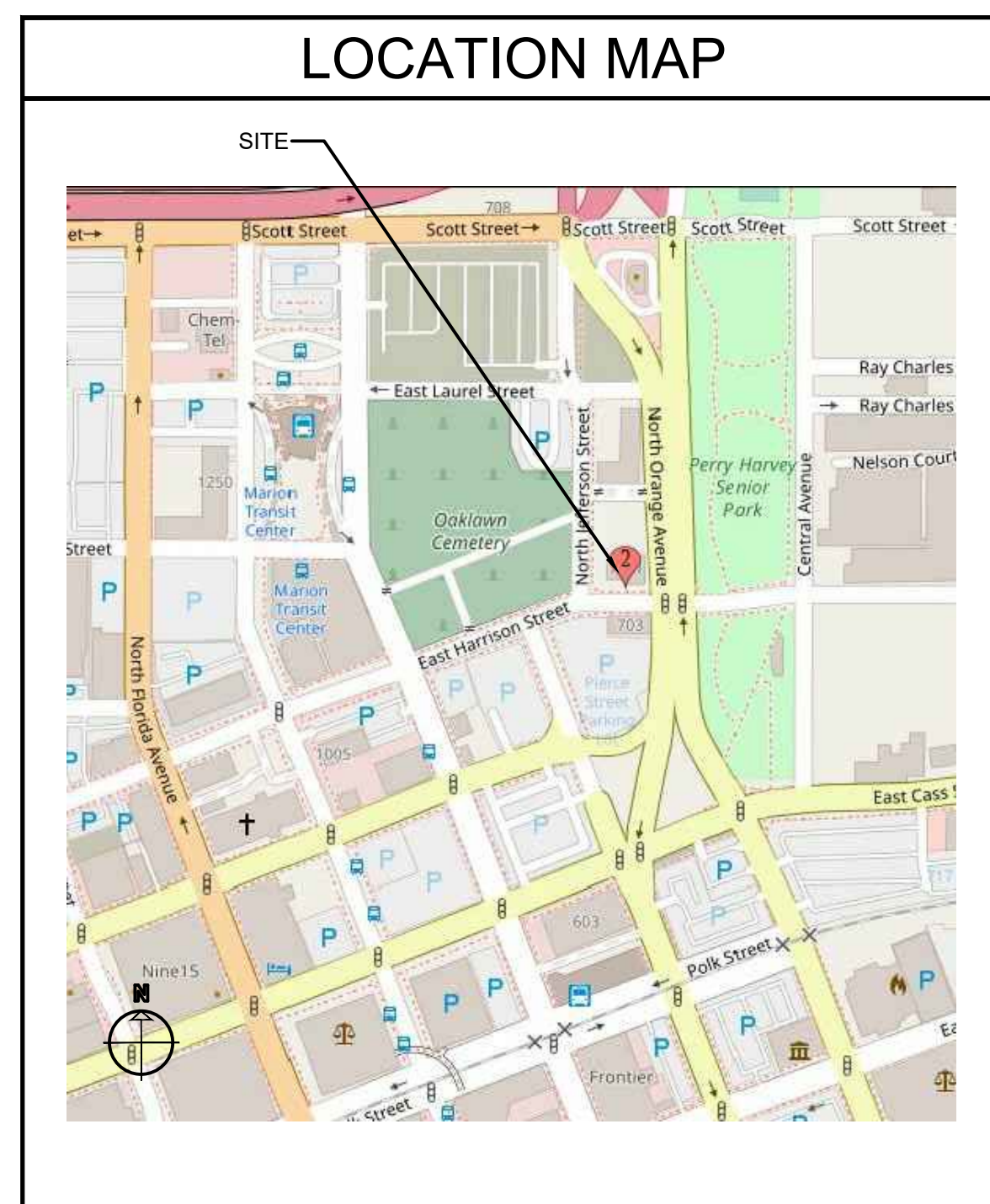
Rev.	Date	By	Remarks
1	06.08.2022	AR	FOR PERMIT
2	07.15.2022	AR	FOR PERMIT
3	08.03.2022	AR	FOR PERMIT
4			
5			
6			
7			
8			
9			
10			

AR ARCONIAL ARCHITECTURE, LLC
 1211 Tech Boulevard - Suite 134, Tampa, FL 33619
 Phone: 813-291-2916 Fax: 813-283-0056
 A226002694
 TO THE BEST OF MY KNOWLEDGE, THESE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH THE 2017 FLORIDA BUILDING CODE 6th EDITION.
 COPYRIGHT ARCONIAL ARCHITECTURE, LLC. ALL RIGHTS RESERVED

Proposed Renovation Exclusively For:
Kid Mason Community Center
 1101 N Jefferson Street
 Tampa, FL 33602
 City of Tampa

20-C00023 KID

Plan Date: 08/03/2022
Scale: 1/4" = 1'-0"
Sheet: 1 OF 82
Page: **C-1.0**



PROJECT INFORMATION

City of Tampa
CONSTRUCTION SERVICES DIVISION

Deferred Submittal

Deferred submittals have been approved for this project. All items deferred must be submitted for review and approval prior to installation in the field as a **Building Revision Record**. The Stamping of this plan shall not be held to permit or approve the violation of any City or State Codes

Refer to Record
CBO-22-0000096

KID MASON COMMUNITY CENTER

1101 N. JEFFERSON STREET, TAMPA, FL 33602

BUILDING IMPROVEMENT PROJECT

PROJECT NUMBER: 18-D-42001

100% CONSTRUCTION DOCUMENTS

CODE INFORMATION

APPLICABLE CODES

FBC 2020 CHAPTER 5, GROUP A & E OCCUPANCY TABLE 504.3a, TABLE 506.2, SECTION 507 TYPE II-B LIMITED TO 3-STORIES.

BASIC WIND SPEED: 150 MPH
RISK CATEGORY: II
HEIGHT & EXPOSURE ADJUSTMENT COEFF.: 0.82
WIND EXPOSURE: B, ENCLOSED
INTERNAL PRESSURE COEFFICIENT: +/- 0.18
VELOCITY PRESSURE: 44.064 PSF

SCOPE OF WORK

LEVEL 3
PER FBC, SEVENTH EDITION (2020) - EXISTING BUILDING

PROJECT SQUARE FOOTAGE

EXISTING LIVING AREA	4,172 S.F.
AREA OF ADDITION	411 S.F.
TOTAL CONDITIONED AREA	4,583 S.F.

LIST OF DRAWINGS

Drawing Title	Scale	Drawing Title	Scale
LOCATION PLAN, LEGEND AND SYMBOLS		A-7.0 Wall Types	Scale as noted
C-1.0 Cover Sheet	Not to Scale	A-8.0 Foundation Plan, Roof Plan & Details	Scale as noted
C-2.0 General Notes Sheet	Not to Scale	A-8.1 Design Criteria & Details	Scale as noted
DEMOLITION PLAN		GRADING & DRAINAGE	
D-1.0 Demolition Plan	1/4" = 1'-0"	LD101 Tree Removal Plan	Scale as noted
D-2.0 Demolition Elevation	1/4" = 1'-0"	LD102 Demolition Plan	Scale as noted
D-3.0 Demolition Elevation	1/4" = 1'-0"	LD101 Planting Notes	Scale as noted
LIFE SAFETY DRAWINGS		LD101 Landscape Plan	Scale as noted
LS-1.0 Life Safety Plan	3/16" = 1'-0"	LP501 Planting Details	Scale as noted
FINISHES DRAWINGS		IRRIGATION	
F-1.0 Furniture Plan	1/4" = 1'-0"	LI101 Irrigation Plan	Scale as noted
F-2.0 Flooring Plan	1/4" = 1'-0"	LI102 Irrigation Wiring	Scale as noted
ARCHITECTURAL		LI401 Enlarged Irrigation Plans	Scale as noted
A-1.0 Floor Plan Dimensions	1/4" = 1'-0"	LI501 Irrigation Details	Scale as noted
A-1.1 Floor Plan Notes	1/4" = 1'-0"	LIGHTING	
A-1.2 Reflected Ceiling Plan	1/4" = 1'-0"	UL101 TECO Lighting Plan	Scale as noted
A-2.0 Door, Window & Finish Schedule	1/4" = 1'-0"	UTILITY	
A-3.0 Exterior Elevations	1/4" = 1'-0"	LU101 Existing Utility Plan	Scale as noted
A-3.1 Exterior Elevations	1/4" = 1'-0"	LU102 Proposed Utility Plan	Scale as noted
A-3.2 Exterior Elev. Colors	1/4" = 1'-0"	LU501 Utility Details	Scale as noted
A-3.3 Exterior Elev. Colors	1/4" = 1'-0"	DESIGN DISTRICT	
A-4.0 Enlarged Plan & Int. Elevations	Scale as noted	LK101 Open Space Plan	Scale as noted
A-4.1 Enlarged Plan & Int. Elevations	Scale as noted	LK102 Overall Streetscape Plan	Scale as noted
A-4.2 Enlarged Plan & Int. Elevations	Scale as noted	LK401 Streetscape Detail Plan	Scale as noted
A-5.0 Details	Scale as noted	LK402 Streetscape Detail Plan	Scale as noted
A-6.0 Wall Section	Scale as noted	LK701 Rendered Site Plan	Scale as noted

Drawing Title	Scale	Drawing Title	Scale
ELECTRICAL		MECHANICAL	
E-0.1 Mechanical/Electrical Demo Plan	1/4" = 1'-0"	M-1.0 Mechanical Plan	1/4" = 1'-0"
E-1.0 Electrical Details and Symbols	Scale as noted	M-1.1 Mechanical Plan	1/4" = 1'-0"
E-1.1 Electrical Power Plan	1/4" = 1'-0"	M-1.2 Mechanical Details	1/4" = 1'-0"
E-1.2 Lighting Plan	1/4" = 1'-0"	PLUMBING	
E-1.3 Electrical Panel & Riser Diagrams	Scale as noted	P-1.0 Plumbing Details and Symbols	Scale as noted
T-1.0 Low Voltage Plan	1/4" = 1'-0"	P-1.1 Plumbing Plan	1/4" = 1'-0"
MECHANICAL		P-1.2 Sanitary Plan	1/4" = 1'-0"
M-1.0 Mechanical Plan	1/4" = 1'-0"	P-1.3 Plumbing ISOs	Scale as noted
M-1.1 Mechanical Plan	1/4" = 1'-0"	LANDSCAPE GENERAL	
M-1.2 Mechanical Details	1/4" = 1'-0"	G001 Cover Sheet	Scale as noted
PLUMBING		G002 General Notes	Scale as noted
P-1.0 Plumbing Details and Symbols	Scale as noted	LX101 Aerial Plan Overlay	Scale as noted
P-1.1 Plumbing Plan	1/4" = 1'-0"	LX102 Existing Conditions	Scale as noted
P-1.2 Sanitary Plan	1/4" = 1'-0"	LANDSCAPE DEMOLITION	
P-1.3 Plumbing ISOs	Scale as noted	PLANTING	

PROJECT TEAM

ARCONIAL ARCHITECTURE, LLC 1211 Tech Boulevard, Suite 134 Tampa, FL 33619 Office: 813-291-2916 Fax: 813-283-0056	CITY OF TAMPA PARKS AND RECREATION 3402 W. Columbus Drive Tampa, FL 33607 Office: 813-274-5144	ENGINEERED DESIGN SERVICES, LLC 560 Village Boulevard, Ste. 410 W. Palm Beach, FL 33409 Office: 352-284-7573	HYATT SURVEY SERVICES, INC 2012 Lena Road Bradenton, FL 34211 Office: 941-744-1643 Fax: 941-748-4693
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PRODUCT APPROVAL

Component	Manufacturer	Approval #
Windows	CGI Windows & Drs.	FL-9065.1
Exterior Metal Door	Masonite	FL-7091.1
Exterior Storefront	YKK AP America	FL-15710.4
Metal Roof	Berridge Manufacturing	FL-11159.2 R7
Underlayment	PolyStick MTS Plus	FL5259.1 R35
Insulation	Atlas Roofing	FL-17989.1

SITE REQUIREMENTS

LEGAL DESCRIPTION

LOTS SEVEN (7), EIGHT (8), AND NINE (9), IN BLOCK 12, OF EMERY AND SIMMONS' ADDITION, BEING A PART OF LOT 5, SECTION 13, TOWNSHIP 29 SOUTH, RANGE 19 EAST, ACCORDING TO THE MAP OR PLAT THEREOF AS THE SAME IS RECORDED IN PLAT BOOK Q, ON PAGE 596, OF THE PUBLIC RECORDS OF HILLSBOROUGH COUNTY, FLORIDA.

DESIGN WIND LOADS

WINDOWS, DOORS, COMPONENTS & CLADDING (ULT)

ZONE	AREA (S.F.)	ROOF PRESSURE (PSF)		WALL PRESSURE (PSF)	
		POSITIVE	UPLIFT	POSITIVE	UPLIFT
1,1'	10	10.0	-38.7	4	10
1,1'	20	10.0	-34.4	4	20
1,1'	50	10.0	-28.6	4	50
1,1'	100	10.0	-24.3	4	100
2	10	10.0	-51.0	5	10
2	20	10.0	-45.5	5	20
2	50	10.0	-38.1	5	50
2	100	10.0	-32.5	5	100
3	10	10.0	-69.6		
3	20	10.0	-58.4		
3	50	10.0	-43.6		
3	100	10.0	-32.5		

GENERAL NOTES

THIS SCOPE OF WORK FOR THIS PROJECT IS DEFINED AS AN ADDITION LOCATED AT 1101 N JEFFERSON STREET, TAMPA, FL 33602. THE BUILDING WAS CONSTRUCTED AND PERMITTED UNDER A PREVIOUS BUILDING PERMIT.

- ALL WORK SHALL COMPLY WITH FLORIDA BUILDING CODE SEVENTH EDITION, 2020 AND ALL OTHER APPLICABLE RULES AND REGULATIONS.
- THE GENERAL CONTRACTOR, SUB-CONTRACTOR OR SUPPLIER SHALL VERIFY ALL CONDITIONS, DETAILS AND DIMENSIONS PRIOR TO THE COMMENCEMENT OF WORK, AND SHALL BE RESPONSIBLE FOR COORDINATION OF THAT WORK.
- IT IS THE AFFIRMATIVE OBLIGATION OF THE SUB-CONTRACTOR OR SUPPLIER TO REQUEST CLARIFICATION AND FURTHER INFORMATION FROM THE GENERAL CONTRACTOR IN THE EVENT OF ANY CONFLICT OF MISUNDERSTANDING, PRIOR TO THE COMMENCEMENT OR COMPLETION OF WORK.
- DO NOT SCALE DRAWINGS. DIMENSIONS SUPERCEDE SCALE ON DRAWINGS.
- IT IS THE RESPONSIBILITY OF CONTRACTOR TO PROVIDE MANUFACTURER'S SPECIFICATION AND INSTALLATION DETAILS (N.O.A.) FOR ALL WINDOWS, DOORS, SHUTTERS, ROOF MATERIALS, ROOF VENTS, AND EXHAUST FANS.
- ALL PRODUCTS AND MATERIALS SHALL BE INSTALLED AS PER MANUFACTURER'S INSTRUCTION AND SPECIFICATIONS UNLESS SPECIFICALLY OTHERWISE DIRECTED BY THE ARCHITECT.
- THE GENERAL CONTRACTOR, SUB-CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL APPLICABLE PERMITS AND PROVIDING THE OWNER WITH ALL APPLICABLE CERTIFICATES, OPERATING MANUALS, WARRANTIES, ETC PRIOR TO OCCUPANCY.

- ALL WORK IN QUESTION INCLUDING MATERIALS, FINISHES AND COLORS SHALL BE COORDINATED WITH OWNER PRIOR TO INSTALLATION.
- ALL WORK REQUIRING ALTERATION OF EXISTING FINISHES SHALL BE PATCHED TO MATCH THE EXISTING AND BLEND WITHOUT INDICATION OF BEING PATCHED.
- PROVIDE NON-SLIP SURFACES AT ALL AREAS CONTINUALLY EXPOSED TO MOISTURE OR SURFACE WATER.
- SEE ORIGINAL BUILDING PLANS FOR SCOPE OF EXISTING WORK IN PLACE.
- ARCONIAL ARCHITECTURE, LLC (THE ARCHITECT) DOES NOT EXERCISE CONTROL, AND SHALL NOT BE RESPONSIBLE FOR ANY CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PROCEDURES IN CONNECTION WITH THE WORK. FURTHERMORE, ARCONIAL ARCHITECTURE (THE ARCHITECT) DOES NOT HOLD ANY LIABILITY FOR ACTS OR OMISSIONS OF THE CONTRACTOR, SUB-CONTRACTORS OR ANY OTHER PERSONS PERFORMING ANY WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THESE DOCUMENTS AND ALL GOVERNING STATUTES.
- ARCHITECT/ENGINEER OF RECORD SHALL NOT BE HELD RESPONSIBLE FOR ANY CONSTRUCTION CHANGES OR ADDITIONAL WORK NOT LISTED ON ORIGINAL AND/OR REVISED COMPLETED PLANS
- ANY WORK COMPLETED OTHER THAN ON ORIGINAL AND/OR REVISED PLANS ARE THE SOLE RESPONSIBILITY OF THE OWNER, BUILDER, CONTRACTOR, OR THEIR REPRESENTATIVES

CODE REFERENCE

ACCESSIBILITY STANDARDS

- REMODEL READING ROOM, COMPUTER ROOM, KITCHEN TO COMPLY WITH ADA ACCESSIBILITY STANDARDS.
- NEW PAINT AND FLOORING THROUGHOUT. REPLACE COMPUTER FURNITURE. NEW LIGHT FIXTURES PER PROPOSED PLANS.
- INSTALL EFFICIENT HEATING AND COOLING SYSTEM THROUGHOUT THE FACILITY.
- INSTALL FIRE ALARM SYSTEM THROUGHOUT THE BUILDING. FIRE ALARM SYSTEM SHALL BE CONNECTED TO POLICE AND FIRE DEPARTMENTS. REPLACE DAMAGED ACOUSTICAL CEILING TILES.
- PREPARE EXISTING AND NEW PENETRATIONS TO RECEIVE NEW EQUIPMENT, DEVICES, CONDUIT, PIPING, ETC. PER PROPOSED PLANS.
- APPLY SINGLE LAYER OF CEMENTITIOUS COATING TO EXISTING EXTERIOR WALLS FOR MULTIPURPOSE BUILDING THEN PAINT.

BUILDING CODE

- 2020 FLORIDA BUILDING CODE, SEVENTH EDITION.
 - FBC - BUILDING
 - FBC - ACCESSIBILITY
 - FBC - ENERGY CONSERVATION
 - FBC - PLUMBING
 - FBC - MECHANICAL
 - FBC - FUEL GAS
 - FBC - EXISTING BUILDING
 - NATIONAL ELECTRICAL CODE (NEC) 2017
 - FLORIDA FIRE PREVENTION CODE
 - 2018 NFPA1, 101
 - 2016 NFPA72
 - 2017 NFPA 70
- USE AND OCCUPANCY CLASSIFICATION
 - GROUP A3 - COMMUNITY HALLS
 - GROUP E - DAYCARE
- CONSTRUCTION TYPE:
 - EXISTING BUILDING: TYPE II UNPROTECTED - UNSPRINKLERED.
 - EXISTING BUILDING (AFTER INSTALLATION):
 - II-B/ NON-COMBUSTIBLE
 - UNPROTECTED - SPRINKLERED
- BUILDING SQUARE FOOTAGE: 4,583 SQ. FT.

PROPOSED SCOPE OF WORK

- REPLACE EXISTING EXTERIOR WINDOWS AND DOORS WITH IMPACT RESISTANT PRODUCTS.
- REMODEL SELECTED REST ROOMS 105 & 106 AND BRING UP TO ADA

Digitally signed by
Nicola M Johnson
Date: 2022.08.03
11:51:13 -04'00'

GENERAL

1. THE EXISTING CONDITIONS SHOWN ON THESE DRAWINGS ARE BASED ON INFORMATION PROVIDED BY CITY OF TAMPA. ALL EXISTING DIMENSIONS ARE TO BE FIELD VERIFIED PRIOR TO THE COMMENCEMENT OF WORK.
2. GENERAL CONTRACTOR SHALL PROTECT ALL EXISTING EQUIPMENT DURING CONSTRUCTION PROCESS.
3. THE USE OF DIESEL/GASOLINE POWERED EQUIPMENT IS PROHIBITED WITHIN THE CONFINES OF THE BUILDING.
4. WORK WHICH DISRUPTS AFTER SCHOOL ACTIVITIES SHALL BE PERFORMED DURING SCHOOL OFF HOURS.
5. ALL REQUIRED UTILITY SHUT DOWNS SHALL BE COORDINATED WITH FACILITY ADMINISTRATION AND AUTHORITIES HAVING JURISDICTION A MINIMUM OF ONE (1) WEEK IN ADVANCE.
6. MAINTAIN ALL REQUIRED EGRESS AND SAFETY TO LIFE OPERATIONAL DURING CONSTRUCTION.
7. ALL NON-FIRE RATED PARTITIONS SHALL EXTEND TO AND BE SECURED TO EXISTING STRUCTURE ABOVE. EXTEND DRAY WALL AND INSULATION TO BOTTOM OF EXISTING STRUCTURE.
8. PROVIDE CORNER GUARDS AT ALL 90° CORNERS AT NEW WALLS. REFER TO SPECIFICATIONS FOR MORE INFORMATION ON CORNER GUARDS.
9. DOOR FRAME TO START 4" FROM WALL CORNER UNLESS NOTED OTHERWISE.

DEMOLITION

1. REFER TO DEMOLITION KEYNOTES FOR SPECIFIC DEMOLITION REQUIREMENTS. SPECIFIC DEMOLITION ITEMS ARE NOT TO BE CONSIDERED ALL INCLUSIVE OR COMPLETE IN THEMSELVES. PERFORM ADDITIONAL DEMOLITION THAT IS REQUIRED FOR PREPARATION OF INSTALLATION OF NEW CONSTRUCTION OR SPECIFIED FINISHES.
2. SCHEDULE DEMOLITION WORK WITH FACILITY ADMINISTRATION PRIOR TO START OF WORK TO MINIMIZE DISRUPTION OF SERVICES AND PROVIDE FOR THE UNINTERRUPTED FUNCTIONING OF THE FACILITY.
3. WHERE NEW FINISHES ARE SCHEDULED FOR EXISTING OR RENOVATED SPACES, THE CONTRACTOR SHALL REMOVE EXISTING FINISHES.
4. ALL WALLS & CEILING IMPACTED BY DEMOLITION WORK SHALL BE PATCHED AND PAINTED FORM EDGE TO EDGE OF WALL AND CEILING/ (FINISH & COLOR MATCH EXISTING) OR AS DIRECTED BY ARCHITECT.
5. DEMOLITION DRAWINGS SHOW THE MAJOR PORTION OF ARCHITECTURAL REQUIRED DEMOLITION WORK. FOR ADDITIONAL DEMOLITION REQUIREMENTS REFER TO AND COORDINATE WITH MECHANICAL, ELECTRICAL, PLUMBING AND OTHER DISCIPLINE CONSTRUCTION DOCUMENTS.
6. CONTRACTOR SHALL VISIT THE SITE AND VERIFY EXTENT OF REQUIRED DEMOLITION PRIOR TO THE SUBMITTAL OF BIDS AND SHALL REPORT ANY SUBSTANTIAL DISCREPANCY TO A/E TO ADDRESS BY ADDENDA.
7. ANY OPENINGS REQUIRED BECAUSE OF M.E.P. NEW SCOPE OF WORK TO BE PROVIDED; PATCH AND PAINT/ PROVIDE FINISHES TO MATCH EXISTING.
8. WHERE NEW FINISHES ARE SCHEDULE FOR EXISTING OR RENOVATED SPACES, THE CONTRACTOR SHALL REMOVE EXISTING FINISHES AND PREPARE SUBSTRATES TO RECEIVE NEW FINISHES AS SCHEDULED. PREPARATION OF SUBSTRATES SHALL INCLUDE, BUT NOT BE LIMITED TO, THE FOLLOWING IF DEEMED REQUIRED BY THE ARCHITECT:
 - PATCHING AND/OR LEVELING OF FLOOR SLAB
 - SKIM COATING OF GYPSUM WALLBOARD SURFACES
 - SANDING OF METAL FRAMES, ETC. IN THE NEW WORK
9. IN GENERAL, RESTROOMS THAT ARE PART OF THIS SCOPE OF WORK ARE BEING GUTTED AND COMPLETELY REMODELED. CONTRACTOR MAY FIND WAYS TO PERFORM REMODELING IN RESTROOMS THAT COULD SAVE THE DEMOLITION OF SOME ITEMS. IF THIS IS THE CASE, THE CONTRACTOR SHALL CONVEY THIS TO THE OWNER AND ARCHITECT.
10. CONTRACTOR IS TO INSPECT WALLS IDENTIFIED TO DETERMINE IF THEY ARE, AT A MINIMUM, SMOKE RESISTANT AND COMPLY WITH THE FBC 7TH EDITIONS, 2020 IF THEY ARE NOT THE CONTRACTOR IS TO BRING THIS WALLS UP TO A MINIMUM SMOKE RESISTANT STANDARD. ANY NEW OR EXISTING PENETRATIONS THROUGH THE NEWLY RE-BUILT SMOKE TIGHT WALLS MUST BE SMOKE RESISTANT.

LIFE SAFETY

1. THESE DRAWINGS ARE DIAGRAMMATIC. DO NOT SCALE DRAWINGS. REFER TO PLANS FOR ACTUAL LOCATION OF FLOOR, WALL, AND CEILING DEVICES.

2. PROVIDE A 20-MINUTE LABEL ON DOOR/FRAME ASSEMBLY IN ALL 1-HOUR RATED PARTITIONS.
3. PROVIDE A "B" LABEL DOOR/FRAME ASSEMBLY IN ALL 2-HOUR RATED PARTITIONS.
4. EXTEND ALL RATED PARTITIONS TO DECK ABOVE, U.N.O.
5. ALL EXIT SIGNS SHALL BE ILLUMINATED TYPE. SEE ELECTRICAL DRAWINGS AND SPECIFICATIONS.
6. DO NOT INSTALL AUTOMATIC SPRINKLER HEAD IN ELECTRICAL ROOMS.

FLOOR PLAN

1. TEMPORARY PARTITION TO BE PROVIDED DURING 'OFF HOURS' AND/OR WEEKENDS AS TO NOT DISTURB LIBRARY OPERATIONS.
2. ALL WORK OUTSIDE OF LIMITS OF TEMPORARY PARTITION TO BE DONE DURING LIBRARY OFF HOURS AND/OR WEEKENDS.
3. THE CONTRACTOR SHALL IMMEDIATELY REPORT ANY HAZARDOUS OR TOXIC MATERIALS DISCOVERED TO ENGINEER OR OWNER.
4. TYPICAL ACCESSIBLE TOILET ROOMS AND STALLS SHOW MINIMUM DISTANCES AND SHOULD BE USED AS GUIDELINES ONLY. CONTRACTOR MUST USE DIMENSIONS ON PLANS. CONTACT ARCHITECT FOR DIMENSION DISCREPANCIES.
5. ALL EQUIPMENT SHOWN SHALL BE STAINLESS STEEL, SATIN FINISH, UNLESS NOTED OTHERWISE.
6. ALL EXPOSED PIPING AT LAVATORIES SHALL BE INSULATED WITH HANDI LAV-GUARD OR APPROVED EQUAL, WHITE.
7. ALL SINKS ARE TO BE PER THE ACCESSIBLE DIAGRAMS ON SHEET A4.0.
8. CONTRACTOR SHALL PROVIDE APPROPRIATE STRUCTURAL BACKING (WITHIN THE WALLS) FOR ALL BATHROOM ACCESSORIES SHOWN.
9. ALL EXISTING GROUND MOUNTED TOILETS/URINALS (TO BE REMOVED) HAVE DRAINS DIRECTLY IN THE CONCRETE SLAB. CONTRACTOR SHALL REMOVE TOILETS/URINALS AND CAP TOILET/URINAL DRAINS AS REQUIRED. COORDINATE WITH MECHANICAL, ELECTRICAL, PLUMBING SYSTEMS
10. NEW TOILETS ARE FLOOR MOUNTED AND SHOULD HAVE THEIR TOILET DRAINS CONNECT TO NEW LINES IN ACCORDANCE WITH FBC 405.4, 405.5, 405.7, 405.9. CONTRACTOR TO SAW CUT, CAP, REMOVE, AND REPLACE TOILET DRAINS AS REQUIRED TO ACCOMMODATE NEW TOILETS.
11. TOILETS LOCATED IN TOILET STALLS THAT ARE DIMENSIONED 3'-0" WIDE CLEAR, ARE TO BE CENTERED BETWEEN STALL PARTITIONS (1" OFF EITHER SIDE).
12. CONTRACTOR TO CAP EXISTING FLOOR DRAINS (TO BE REMOVED) OR SAW CUT AND CONNECT LINES TO NEW FLOOR DRAIN LOCATIONS.
13. LOCATE NEW FLOOR DRAINS (F.D.) CENTERED BELOW TOILET PARTITION.

REFLECTED CEILING PLAN

1. VERIFY LOCATIONS OF ALL LIGHT FIXTURES, AIR SLOTS, AIR SUPPLY, AND RETURN GRILLES WITH PLANS AND COORDINATE INSTALLATION WITH MECHANICAL AND ELECTRICAL CONTRACTORS. NOTIFY ARCHITECT OF ANY CONFLICTS PRIOR TO INSTALLATION
2. PATCH CEILING WHERE DEMO OCCURS TO MATCH EXISTING ADJACENT CEILING. ADJUST LIGHT FIXTURES AS NECESSARY
3. ALL MECHANICAL SLOTS, GRILLES, OR ACCESS PANELS TO BE PAINTED TO MATCH SURFACE ON WHICH THEY OCCUR, U.N.O.
4. SUPPORT FINISH EDGES OF CEILING WITH EDGE ANGLES ATTACHED TO WALL.
5. GENERAL CONTRACTOR TO COORDINATE WITH OWNER FOR THE RE-USE OF EXISTING LIGHTING FIXTURES. VERIFY FIXTURES ARE IN GOOD WORKING CONDITION. PATCH AND REPAIR AS NEEDED TO NEW CONDITION.
6. CONTRACTOR TO PROVIDE ALL MISCELLANEOUS METAL STUD FRAMING REQUIRED TO PROVIDE SOFFITS AND BULKHEAD AS GRAPHICALLY DEPICTED ON THE REFLECTED CEILING PLAN, SECTIONS, AND ELEVATIONS

- THE CONTRACTOR SHALL PERFORM THE WORK IN PHASES AS NECESSARY TO MINIMIZE ANY DOWNTIME AND/OR DISRUPTION TO ANY REGULAR USE OF THE INSTRUCTIONAL FACILITY INCLUDING BUT NOT LIMITED TO AIR CONDITIONING SYSTEMS, FIRE ALARM, LIFE SAFETY, READING ROOM, KITCHENS, MULTIPURPOSE ROOM, ADMINISTRATIVE SPACES, OFFICES, TOILETS AND ANY OTHER ESSENTIAL AREAS USED FOR DAILY OPERATIONS. ANY PHASING OF WORK IS SUBJECT TO THE APPROVAL BY THE CITY OF TAMPA.
- IF APPROVED BY CITY OF TAMPA, ANY INTERRUPTION OF THE EXISTING FACILITIES OPERATIONS OR SERVICES SHALL BE KEPT TO A MINIMUM. THE CONTRACTOR SHALL FURNISH ALL MATERIAL AND EQUIPMENT REQUIRED WHENEVER TEMPORARY CONNECTIONS ARE NECESSARY TO MAINTAIN CONTINUITY OF SERVICES WHILE THE WORK IS BEING PERFORMED. WHEN NECESSARY, THE INSTALLATION OF ANY TEMPORARY SERVICES AND REINSTALLATION OF WORK FOR FINAL CONNECTIONS SHALL BE DONE AT SUCH TIMES AS APPROVED BY CITY OF TAMPA. DURING DEMOLITION THE CONTRACTOR MUST TAKE SPECIAL CARE AND CONSIDERATION WHEN WORKING AROUND OR NEAR EXISTING UTILITIES AS NOT TO DAMAGE OR DISRUPT OPERATIONS.



ANY CHANGES TO THESE DRAWINGS MUST BE APPROVED BY THE A.R.C.

TABLE P403.1 MINIMUM NUMBER OF REQUIRED PLUMBING FIXTURES FOR EDUCATIONAL FACILITIES				
	MALE = 85	REQUIRED	PROVIDED @ RR	PROVIDED @ MP
W.C.	1/40	2	1	1
LAV'S	1/50	2	2	1
URINAL	67% OF W.C.	1	1	0
FEMALE = 86				
W.C.	1/40	2	2	1
LAV'S	1/50	2	2	1
DRINKING FOUNTAIN				
	1/100	2	1	1

1 SERVICE SINK REQUIRED PER FBC 7TH EDITION, 2020 PLUMBING

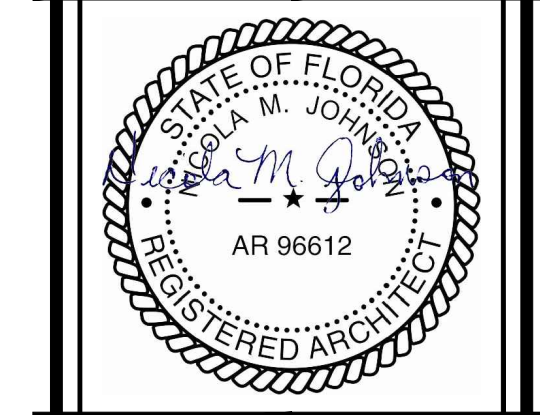
ABBREVIATIONS

ATC	- ACOUSTICAL TILE CEILING
ATCMR	- ACOUSTICAL CEILING TILE MOISTURE RESISTANT
BB	- BACKER BOARD
CPL	- CEILING PLASTER
CPT	- CARPET
CT	- CERAMIC TILE
CTB	- CERAMIC TILE BASE
EPS	- ENAMEL PAINT-SATIN
ETR	- EXISTING TO REMAIN
GWB	- GYPSUM WALLBOARD
HM	- HOLLOW METAL
MWR	- MOISTURE RESISTANT GYPSUM WALLBOARD
PT	- PAINTED
QT	- QUARRY TILE
QTB	- QUARRY TILE BASE
R	- RUBBER BASE
SC	- SOLID CORE
STC	- SOUND TRANSMISSION CLASS RATING
TME	- TO MATCH EXISTING
VT	- VINYL TILE
WD	- WOOD

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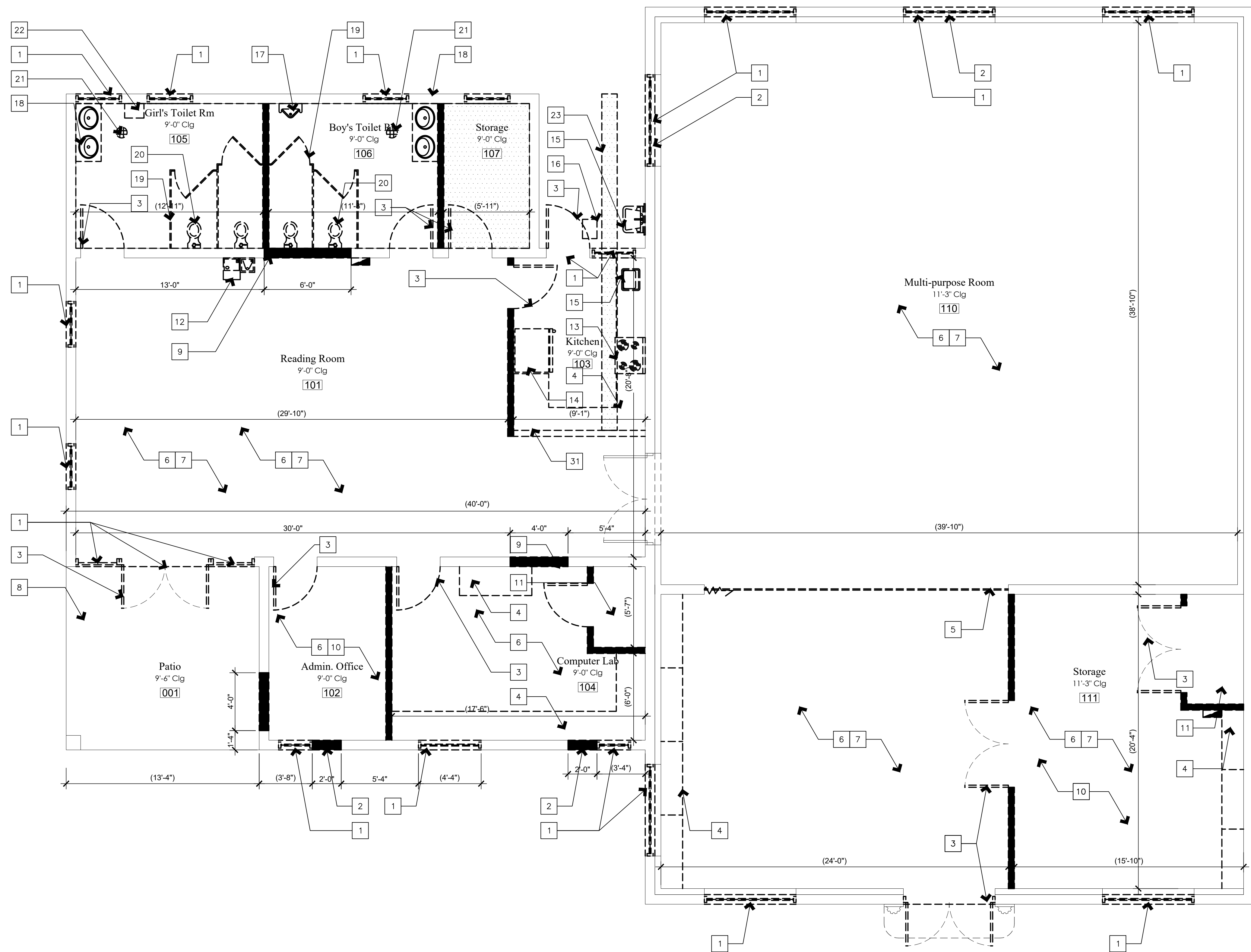
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 1211 Tech Boulevard - Suite 134, Tampa, FL 33619
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 Tampa, FL 33602
 City of Tampa



20-C00023 KID

Plan Date: 02/14/2022
 Scale: 1/4" = 1'-0"
 Sheet: 2 OF 80
 Page: **C-2.0**



DEMOLITION KEYNOTES

1. REMOVE AND DISCARD OF EXISTING WINDOW AND SECURITY GRATE.
2. REMOVE PORTION OF CMU WALL BELOW EXISTING MASONRY HEADER. PATCH WALLS TO MATCH EXISTING ADJACENT SURFACES OR PREPARE TO RECEIVE NEW WINDOW SYSTEM AS INDICATED. REFER TO FINISH SCHEDULE. COORDINATE NEW FENESTRATION OPENING WITH MANUFACTURER'S SPECIFICATIONS.
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28. REMOVE AND DISCARD OF EXISTING FLOOD LIGHT. REFER ELECTRICAL PLAN.
29. REMOVE STAINLESS STEEL DOWNSPOUT.
30. EXISTING ELECTRICAL EQUIPMENT TO REMAIN. SEE ELECTRICAL PLANS.
31. REMOVE OVERHEAD PULL-DOWN GATE.

DEMOLITION FLOOR PLAN

scale 1/4" = 1'-0"

DEMOLITION SHEET NOTES

1. REFER TO DEMOLITION KEYNOTES FOR SPECIFIC DEMOLITION REQUIREMENTS. SPECIFIC DEMOLITION ITEMS ARE NOT TO BE CONSIDERED ALL INCLUSIVE OR COMPLETE IN THEMSELVES. PERFORM ADDITIONAL DEMOLITION THAT IS REQUIRED FOR PREPARATION OF INSTALLATION OF NEW CONSTRUCTION OR SPECIFIED FINISHES.
2. SCHEDULE DEMOLITION WORK WITH FACILITY ADMINISTRATION PRIOR TO START OF WORK TO MINIMIZE DISRUPTION OF SERVICES AND PROVIDE FOR THE UNINTERRUPTED FUNCTIONING OF THE FACILITY.
3. WHERE NEW FINISHES ARE SCHEDULED FOR EXISTING OR RENOVATED SPACES, THE CONTRACTOR SHALL REMOVE EXISTING FINISHES.
4. ALL WALLS & CEILING IMPACTED BY DEMOLITION WORK SHALL BE PATCHED AND PAINTED FROM EDGE TO EDGE OF WALL AND CEILING (FINISH & COLOR MATCH EXISTING) OR AS DIRECTED BY ARCHITECT.
5. DEMOLITION DRAWINGS SHOW THE MAJOR PORTION OF ARCHITECTURAL REQUIRED DEMOLITION WORK. FOR ADDITIONAL DEMOLITION REQUIREMENTS REFER TO AND COORDINATE WITH MECHANICAL, ELECTRICAL, PLUMBING AND OTHER DISCIPLINE CONSTRUCTION DOCUMENTS.
6. CONTRACTOR SHALL VISIT THE SITE AND VERIFY EXTENT OF REQUIRED DEMOLITION PRIOR TO THE SUBMITTAL OF BIDS AND SHALL REPORT ANY SUBSTANTIAL DISCREPANCY TO A/E TO ADDRESS BY ADDENDA.
7. ANY OPENINGS REQUIRED BECAUSE OF M.E.P. NEW SCOPE OF WORK TO BE PROVIDED, PATCH AND PAINT/ PROVIDE FINISHES TO MATCH EXISTING.
8. WHERE NEW FINISHES ARE SCHEDULE FOR EXISTING OR RENOVATED SPACES, THE CONTRACTOR SHALL REMOVE EXISTING FINISHES AND PREPARE SUBSTRATES TO RECEIVE NEW FINISHES AS SCHEDULED. PREPARATION OF SUBSTRATES SHALL INCLUDE, BUT NOT BE LIMITED TO, THE FOLLOWING IF DEEMED REQUIRED BY THE ARCHITECT:
 - PATCHING AND/OR LEVELING OF FLOOR SLAB
 - SKIM COATING OF GYPSUM WALLBOARD SURFACES
 - SANDING OF METAL FRAMES, ETC. IN THE NEW WORK
9. IN GENERAL, RESTROOMS THAT ARE PART OF THIS SCOPE OF WORK ARE BEING GUTTED AND COMPLETELY REMODELED. CONTRACTOR MAY FIND WAYS TO PERFORM REMODELING IN RESTROOMS THAT COULD SAVE THE DEMOLITION OF SOME ITEMS. IF THIS IS THE CASE, THE CONTRACTOR SHALL CONVEY THIS TO THE OWNER AND ARCHITECT.
10. CONTRACTOR IS TO INSPECT WALLS IDENTIFIED TO DETERMINE IF THEY ARE, AT A MINIMUM, SMOKE RESISTANT AND COMPLY WITH THE FBC 5TH EDITIONS, 2014 IF THEY ARE NOT THE CONTRACTOR IS TO BRING THIS WALLS UP TO A MINIMUM SMOKE RESISTANT STANDARD. ANY NEW OR EXISTING PENETRATIONS THROUGH THE NEWLY RE-BUILT SMOKE TIGHT WALLS MUST BE SMOKE RESISTANT.

COORDINATE ARCHITECTURAL PLANS WITH STRUCTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS

DEMOLITION LEGEND

	EXISTING CMU BLOCK
	EXISTING PARTITION WALL TO REMAIN
	DEMOLITION
	DEMOLITION EXISTING WALL
	DIMENSIONS IN PARENTHESES REFER TO EXISTING DIMENSIONS. THEY ARE FOR INFORMATION ONLY. GENERAL CONTRACTOR TO VERIFY IN FIELD.

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City of Tampa
CONSTRUCTION SERVICES DIVISION

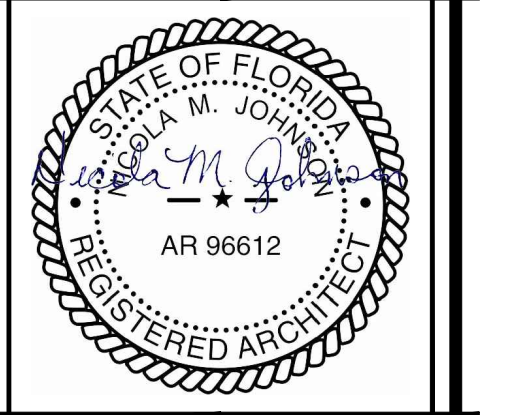
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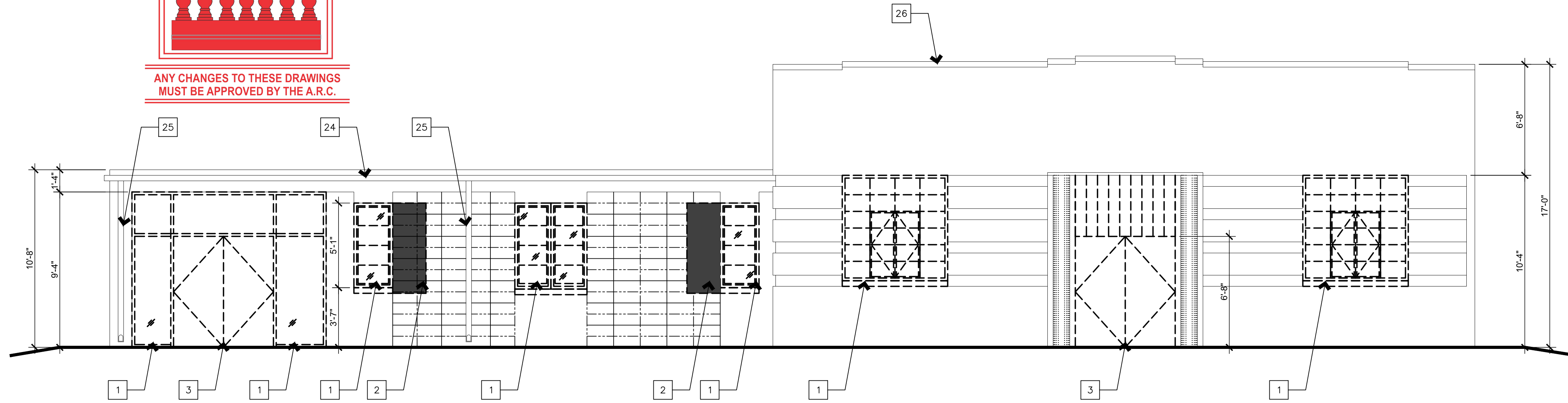
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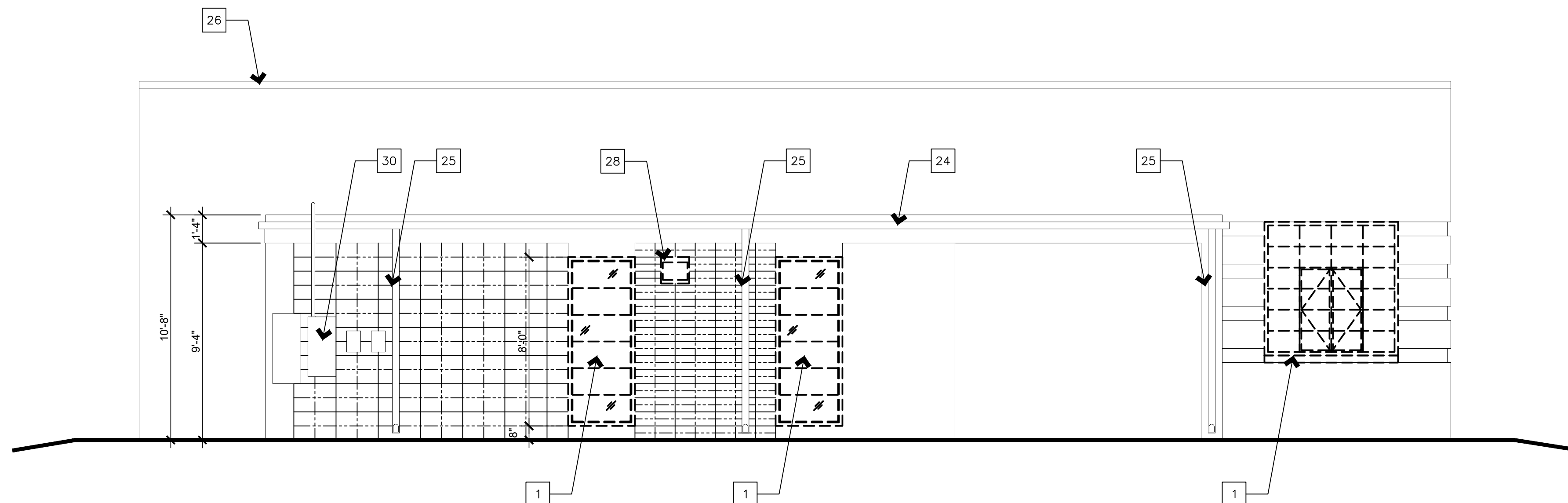
ANY CHANGES TO THESE DRAWINGS MUST BE APPROVED BY THE A.R.C.

City of Tampa
PLANNING AND DEVELOPMENT
URBAN DESIGN APPROVAL
Signed: Andy Mihalj Date: 8/8/2022
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Note: This Approval specifically pertains to Development Design Review only, relative to Overlay District Design Standards. This approval does NOT serve as an all-inclusive approval for the City of Tampa (all departments) as a whole.
REVIEWED FOR CODE COMPLIANCE



Existing E Harrison Street Elevation

scale 1/4" = 1'-0"



Existing Jefferson Street Elevation

scale 1/4" = 1'-0"

DEMOLITION LEGEND	
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	EXISTING PARTITION WALL TO REMAIN
	DEMOLITION
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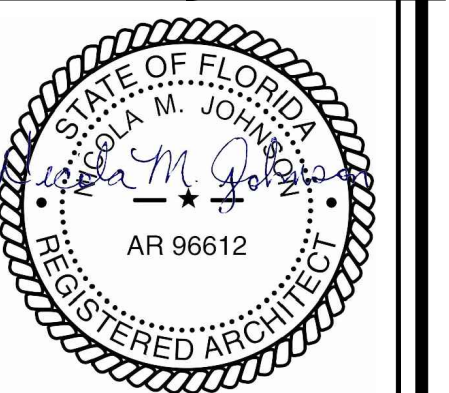
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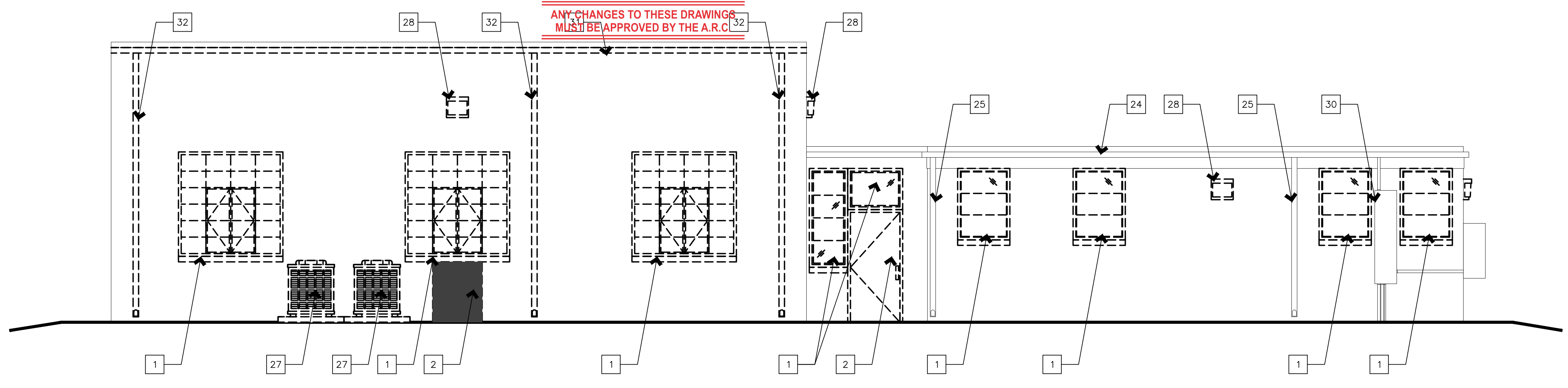
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PLANNING AND DEVELOPMENT
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Existing Rear Elevation scale 1/4" = 1'-0"



Existing Orange Street Elevation scale 1/4" = 1'-0"

DEMOLITION LEGEND	
	EXISTING CMU BLOCK
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CONSTRUCTION SERVICES DIVISION

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20-C00023 KID

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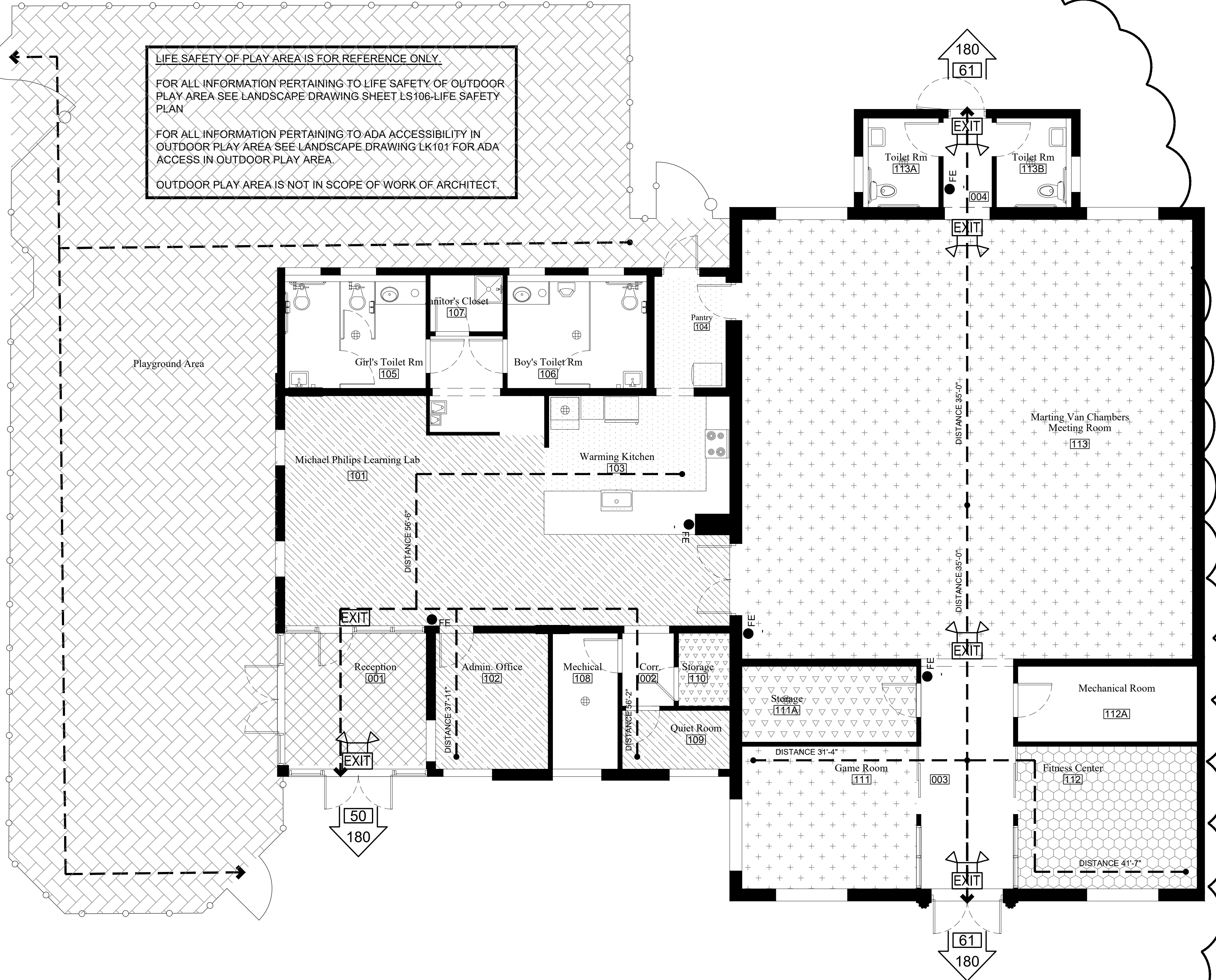
Page: **D-3.0**

LIFE SAFETY OF PLAY AREA IS FOR REFERENCE ONLY.

FOR ALL INFORMATION PERTAINING TO LIFE SAFETY OF OUTDOOR PLAY AREA SEE LANDSCAPE DRAWING SHEET LS106-LIFE SAFETY PLAN

FOR ALL INFORMATION PERTAINING TO ADA ACCESSIBILITY IN OUTDOOR PLAY AREA SEE LANDSCAPE DRAWING LK101 FOR ADA ACCESS IN OUTDOOR PLAY AREA.

OUTDOOR PLAY AREA IS NOT IN SCOPE OF WORK OF ARCHITECT.



LIFE SAFETY CODE

CLASSIFICATION
 A3 - ASSEMBLY & E - DAYCARE OCCUPANCIES (AGES 5 - 14)
 EXIT ACCESS TRAVEL DISTANCE IS LESS THAN 200' PER FBC, SECTION 1017, TABLE 1017.2.

OCCUPANT TYPE	AREA (SQ.FT.)	LOAD FACTOR PER OCCUPANT	OCCUPANTS
ASSEMBLY	1,741	15 NET	116
RECEPTION	146	5 NET	29
BRK. BAR	160	18' LIN. FT.	9
DAYCARE	324	35 NET	11
KITCHEN	200	200 GROSS	1
EXERCISE	199	50 GROSS	4
STORAGE	132	300 GROSS	1
PLAYGROUND	SEE LANDSCAPE DWG SHEET LS106		

Σ OCCUPANCY LOAD 171 OCCUPANTS

TABLE 1006.3.2
 MIN. NUMBER OF EXITS FOR OCCUPANT LOAD

OCCUPANCY	MIN. # EXITS	PROPOSED EXITS
1 - 500	2	3

SECTION 1005.1
 EGRESS WIDTH PER OCCUPANT SERVED

OCCUPANCY	WITH SPRINKLER SYSTEM	
	STAIRWAYS	OTHER EGRESS
ASSEMBLY	.3	.2
EDUCATIONAL	.3	.2

TABLE 1017.2
 EXIT ACCESS TRAVEL DISTANCE

OCCUPANCY	W/ SPRINKLER	W/O SPRINKLER
ASSEMBLY	250'-0"	75'-0"
EDUCATIONAL	250'-0"	75'-0"

- A. CHAPTER 8 - INTERIOR FINISHES
- A.1. WALL AND FINISHES (TABLE 803.11)
 - A.1.1. INTERIOR EXIT PASSAGeways - CLASS C
 - A.1.2. ROOMS AND ENCLOSED SPACES - CLASS C
 - B. CHAPTER 9 - FIRE PROTECTION SYSTEMS
 - B.1. PORTABLE FIRE EXTINGUISHERS (FBC 906)
 - B.1.1. CLASS 'A' FIRE HAZARD ORDINARY (MODERATE) (TABLE 906.3)
 - B.2. FIRE ALARM AND DETECTION SYSTEMS (FBC 907)
 - B.2.1. PROVIDED
 - C. CHAPTER 10 - MEANS OF EGRESS
 - C.1. TRAVEL DISTANCE (UNSPRINKLERED) (TABLE 1006.2.1)
 - C.1.1. 75 FEET MAXIMUM
 - C.2. EXIT ACCESS TRAVEL DISTANCE (TABLE 1017.2)
 - C.2.1. ASSEMBLY - 75 FEET
 - C.3. CORRIDORS
 - C.3.1. CORRIDOR FIRE-RESISTANCE RATING (TABLE 1020.1) (WITH SPRINKLER SYSTEM) (1) NO FIRE RESISTANCE RATING REQUIRED
 - C.3.2. MINIMUM CORRIDOR WIDTH (TABLE 1020.2)
 - C.3.3. REQUIRED - 44 INCHES
 - C.3.4. PROVIDED - EXCEEDS 44 INCHES

LIFE SAFETY LEGEND

	LIGHTED EXIT SIGN - ILLUMINATED W/ BATTERY BACKUP (CEILING OR WALL MOUNTED)
	DIRECTIONAL EXIT SIGN (CEILING OR WALL MOUNTED. ARROW INDICATED DIRECTION OF EXIT)
	PATH OF EGRESS TRAVEL
	EMERGENCY LIGHT WITH BATTERY BACKUP
	FIRE EXTINGUISHER - SURFACE MOUNTED
	ROOM OCCUPANCY LOAD
	ACTUAL NUMBER OF PEOPLE EXITING
	EXIT CAPACITY

APPROVED
 By Oscar Moreno on 8/10/2022 7:38:19 AM



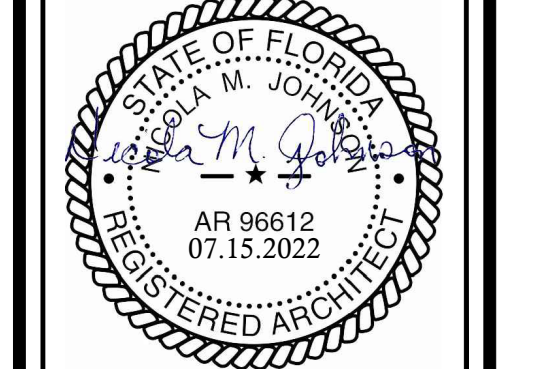
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 by Nicola M
 Johnson
 Date: 2022.07.15
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Rev.	Date	By	Remarks
1	06.08.2022	PRG	Response #1
2	07.15.2022	PRG	Response #2
3			It is unlawful to make changes or alterations without written approval of the City of Tampa.
4			Changes to this plan shall not be made without the approval of the City of Tampa.
5			The Standard of this plan shall not be held to permit or approve the violation of any City or State Codes or Regulations.
6			Approval for code compliance
7			
8			
9			
10			

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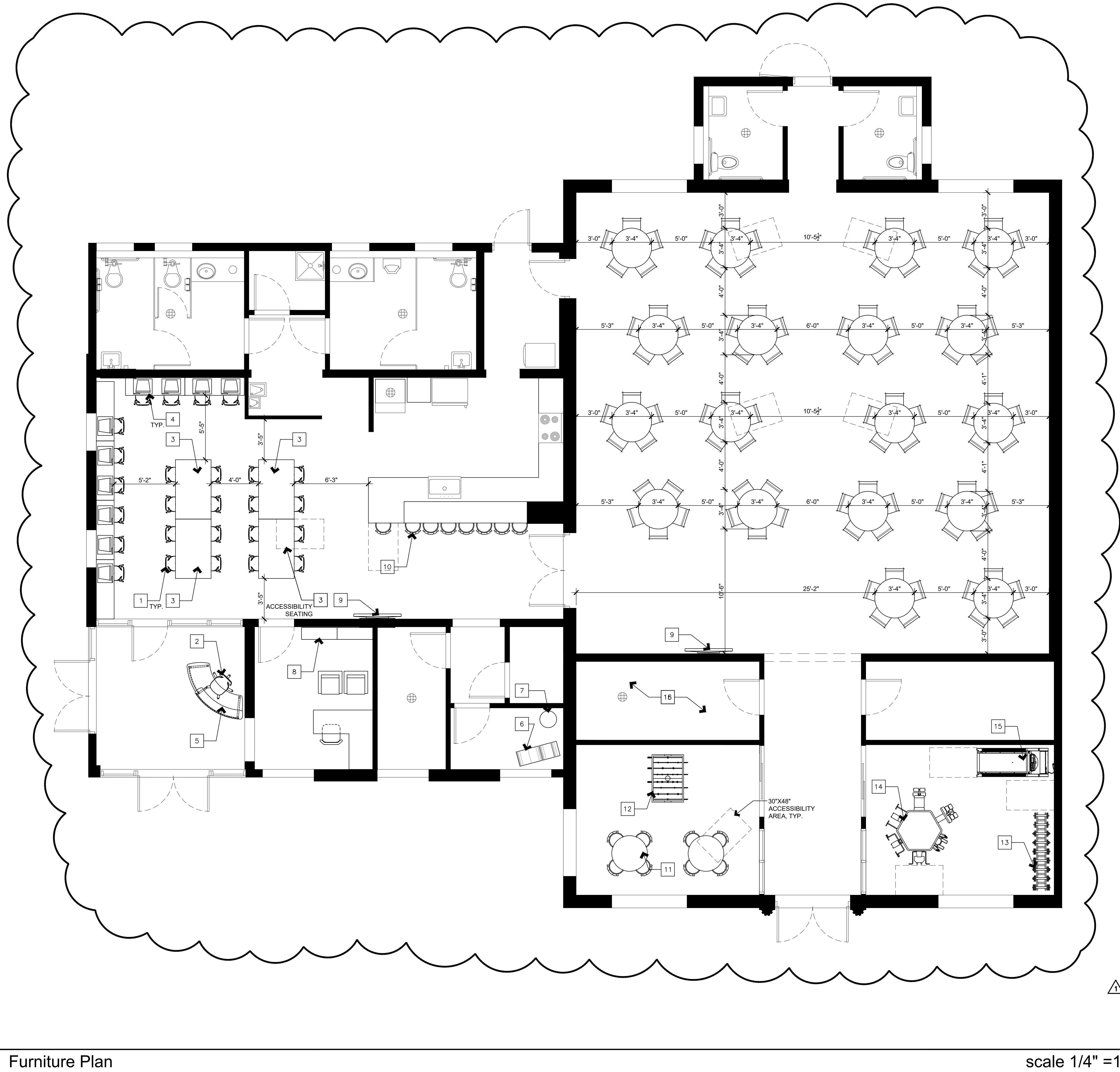
Kid Mason Community Center
 1101 N Jefferson Street
 Tampa, FL 33602
 City of Tampa

AR ARCONIAL ARCHITECTURE, LLC
 1211 Tech Boulevard - Suite 134, Tampa, FL 33619
 Phone: 813-291-2916 Fax: 813-283-0056
 A22002694
 TO THE BEST OF MY KNOWLEDGE, THESE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH THE 2017 FLORIDA BUILDING CODE 6th EDITION.
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Plan Date: 07/15/2022
 Scale: 1/4" = 1'-0"
 Sheet: 6 OF 82
LS-1.0



- ### FURNITURE NOTES
1. FLAVOR STACK CHAIR, NYLON GLIDE - 18"
 2. FLAVOR ADJUSTABLE STOOL (CASTERS)
 3. TABLE (CASTERS) - 36" X 60"
 4. FLEX DESK W/ TILT DOWN WIRE MANAGER & LOCKING TROUGH - 20" X 60"
 5. NOMAD DESK - ND- 75DL-MOB-WHP
 6. MEDIATECHNOLOGIES ALTERNATIVE SEATING - FRES, 42" X 15"
 7. SQUIBBLES STOOL - CSQB-6
 8. DRIFT STRAIGHTT BOOKCASE - DFTS-4218S-T-MOB
 9. EXISTING WALL MOUNTED TV MOUNT AT 84" A.F.F.
 10. STOOL - BREAKFAST BAR HEIGHT (NOT FIXED)
 11. GAME TABLE - 36" DIAMETER
 12. EXISTING FOOSBALL TABLE
 13. SET OF FREE WEIGHTS
 14. MULTI-STATION STRENGTH TRAINING APPARATUS
 15. TREADMILL
 16. EXISTING STACKED CHAIRS AND COLLAPSIBLE TABLES

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2			THIS SET OF PLANS MUST BE KEPT ON SITE AT ALL TIMES
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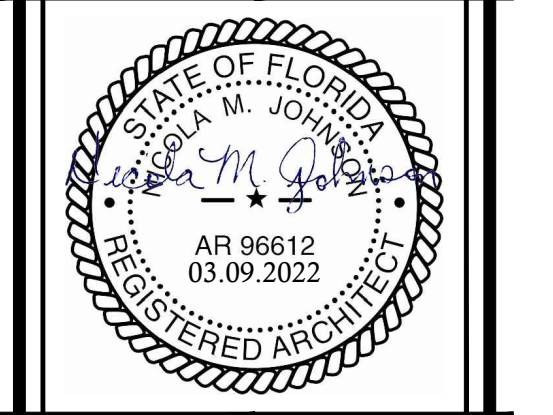
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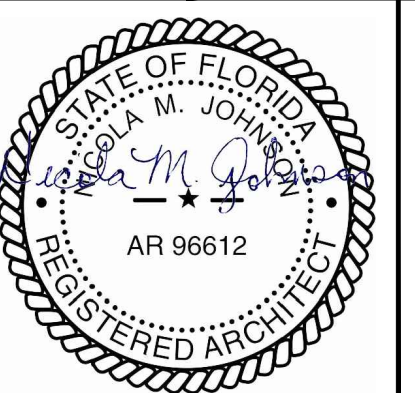
Plan Date: 03/09/2022
 Scale: 1/4" = 1'-0"
 Sheet: 7 OF 82
 Page: **F-1.0**

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1	02/14/2022	AR	THIS SET OF PLANS MUST BE KEPT ON
2			- THE JOB AT ALL TIMES
3			It is unlawful to make changes or
4			alterations without written approval
5			of the City of Tampa Construction
6			Changes Division.
7			The Stamping of this plan shall not be
8			held to permit or approve the violation
9			of any City or State Codes
10			RELATIVE FOR CODE COMPLIANCE

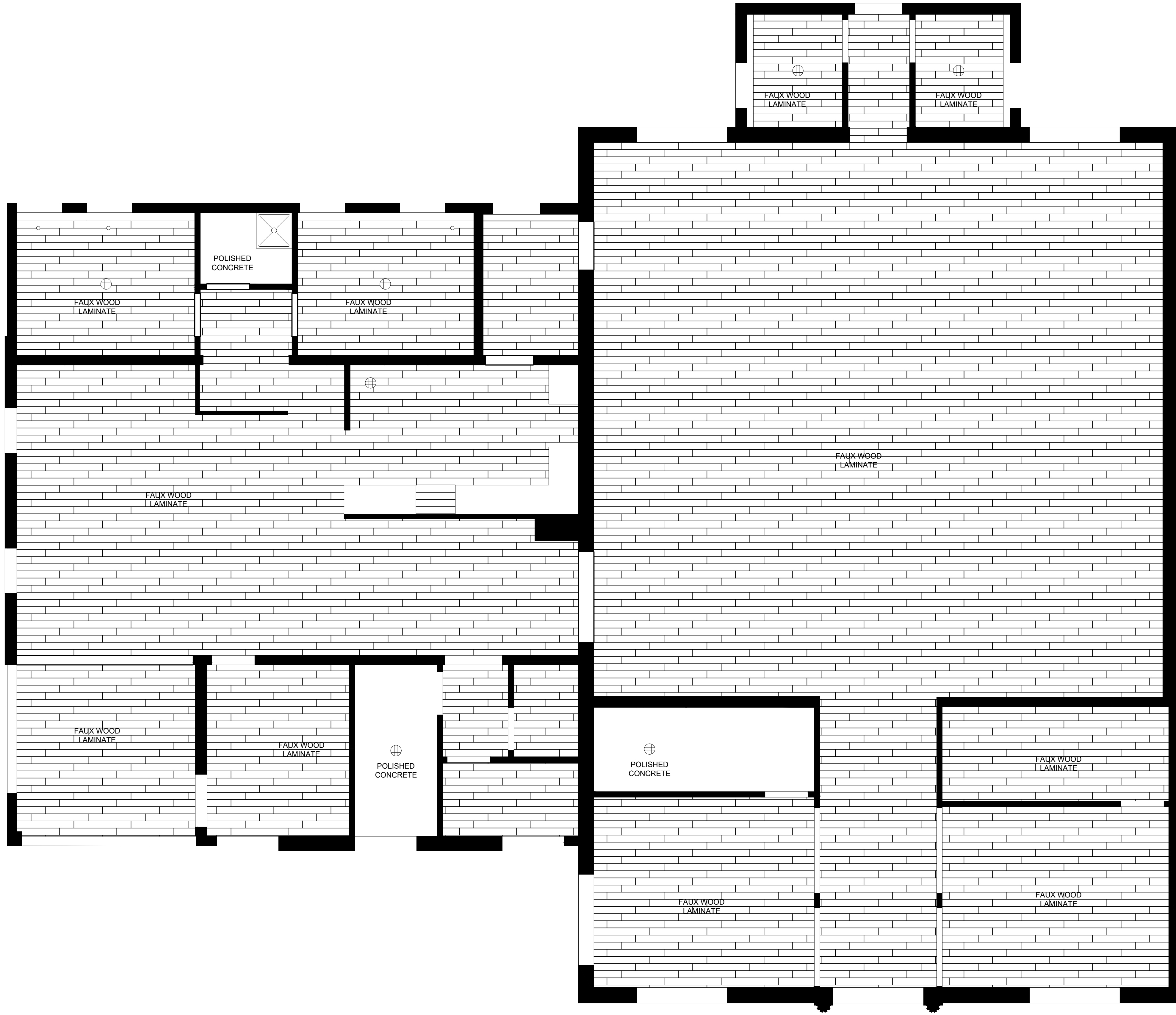
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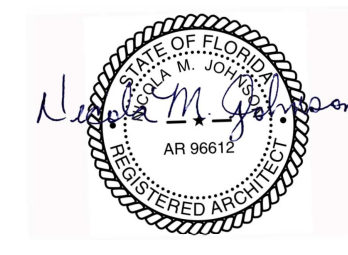
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 Page: **F-2.0**

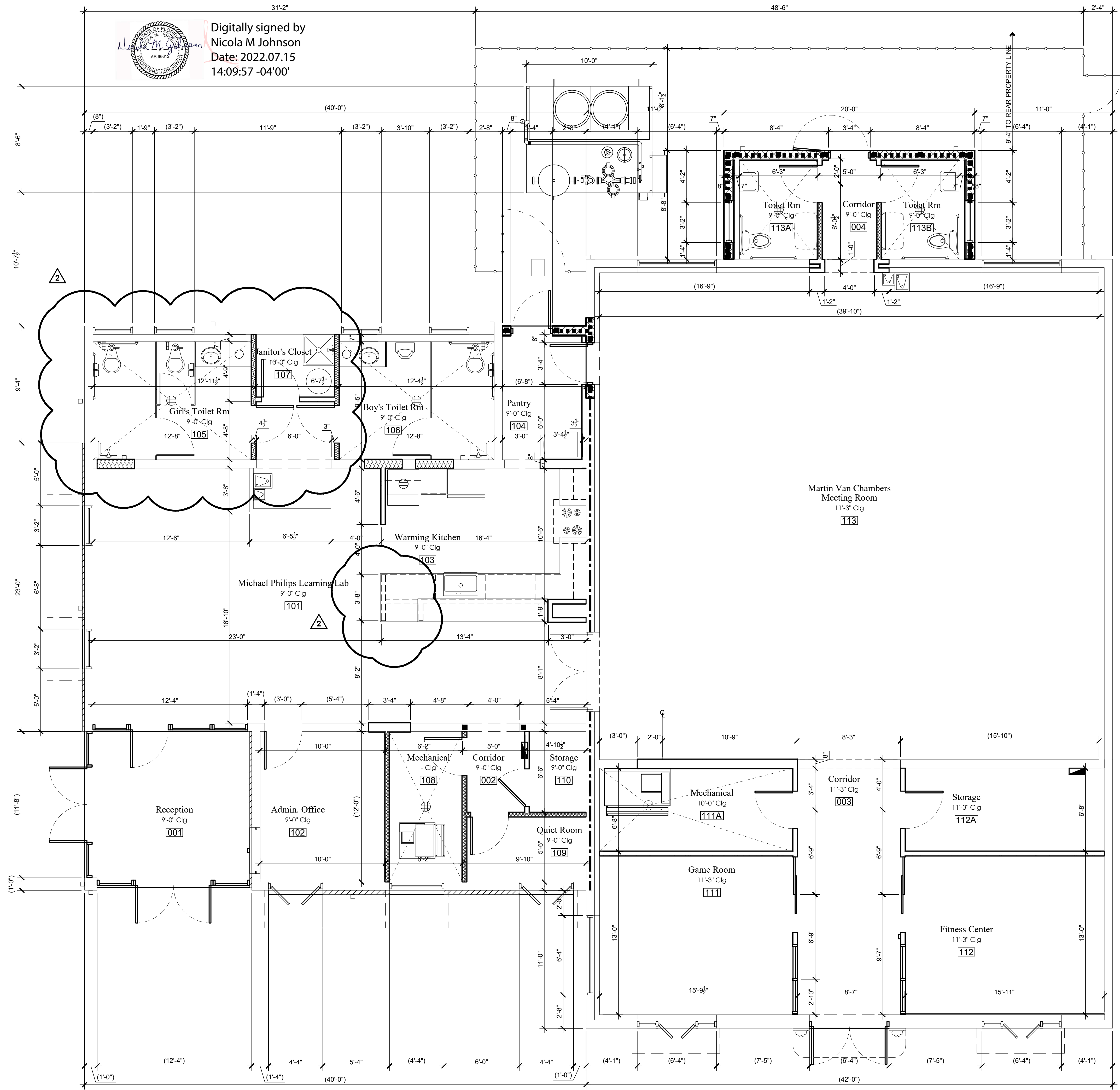


Furniture Plan

scale 1/4" = 1'-0"



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14:09:57 -04'00'



Floor Plan Dimensions

scale 1/4" = 1'-0"

FLOOR PLAN LEGEND

	EXISTING PARTITION WALL TO REMAIN
	EXISTING 1-HR FIRE CMU WALL TO REMAIN
	NEW 1-HR FIRE CMU WALL
	NEW PARTITION WALL
	NEW INSULATED PARTITION WALL - STC 62 MIN.
	(1) #5 REBAR IN FILLED CELL
	NEW CMU WALL W/ FURRING AND DRYWALL. SEE WALL DETAIL.
	DIMENSIONS IN PARENTHESES REFER TO EXISTING DIMENSIONS. THEY ARE FOR INFORMATION ONLY. GENERAL CONTRACTOR TO VERIFY IN FIELD.
	WALL TYPES. SEE SHEET A-5.0
	ELEVATION SYMBOL

FLOOR PLAN NOTES

- TEMPORARY PARTITION TO BE PROVIDED DURING 'OFF HOURS' AND/OR WEEKENDS AS TO NOT DISTURB AFTER SCHOOL PROGRAM OPERATIONS.
- ALL WORK OUTSIDE OF LIMITS OF TEMPORARY PARTITION TO BE DONE DURING LIBRARY OFF HOURS AND/OR WEEKENDS.
- THE CONTRACTOR SHALL IMMEDIATELY REPORT ANY HAZARDOUS OR TOXIC MATERIALS DISCOVERED TO ARCHITECT OR OWNER.
- CONTRACTOR SHALL PROVIDE APPROPRIATE STRUCTURAL BACKING (WITHIN THE WALLS) FOR ALL BATHROOM ACCESSORIES SHOWN.
- ALL EXISTING GROUND MOUNTED TOILETS/URINALS (TO BE REMOVED) HAVE DRAINS DIRECTLY IN THE CONCRETE SLAB. CONTRACTOR SHALL REMOVE TOILETS/URINALS AND CAP TOILET/URINAL DRAINS AS REQUIRED. COORDINATE WITH MECHANICAL, ELECTRICAL, PLUMBING SYSTEMS
- NEW TOILETS ARE FLOOR MOUNTED AND SHOULD HAVE THEIR TOILET DRAINS CONNECT TO OLD LINES. CONTRACTOR TO SAW CUT, CAP, REMOVE, AND REPLACE TOILET DRAINS AS REQUIRED TO ACCOMMODATE NEW TOILETS.
- TOILETS LOCATED IN TOILET STALLS THAT ARE DIMENSIONED 2'-8" WIDE CLEAR, ARE TO BE CENTERED BETWEEN STALL PARTITIONS (1" OFF EITHER SIDE).
- CONTRACTOR SHALL WORK AROUND COMPUTER SERVER EQUIPMENT. CONTRACTOR SHALL SHUT DOWN, COVER, AND PROTECT COMPUTER SERVER EQUIPMENT DURING CONSTRUCTION OF NEW WALLS.
- NOTIFY OWNER AT LEAST 72 HOURS PRIOR TO ANY SHUT DOWN OF POWER DISTURBANCE.
- PROVIDE ONE SOAP DISPENSER AT EACH SINK AND LAVATORY, TYP.
- PROVIDE ONE TOILET PAPER DISPENSER AT EACH TOILET BOWL, TYP.
- PROVIDE ONE SANITARY NAPKIN DISPENSER AT EACH FEMALE TOILET STALL, TYP.

ACCESSIBILITY NOTES

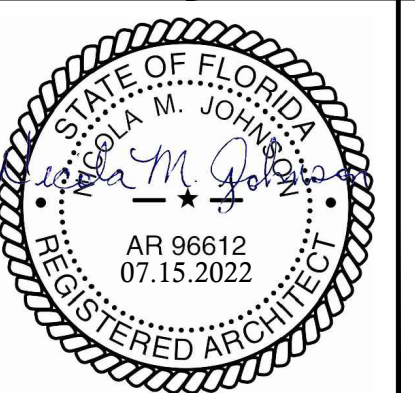
- ALL WORK SHALL COMPLY WITH ALL APPLICABLE PROVISIONS OF THE FLORIDA ACCESSIBILITY CODE.
- WORK SHALL INCLUDE, BUT NOT LIMITED TO, ALL DESIGNATED THRESHOLDS, CLEARANCES, HEIGHTS CORRIDORS, DOORS, HARDWARE AND TOILET ROOM REQUIREMENTS.
- PROVIDE LEVER TYPE HARDWARE ON ALL PERSONNEL DOORS AND SINKS.
- ALL ACCESSORIES FOR TOILET ROOMS SHALL MEET ALL APPLICABLE REQUIREMENTS OF THE FLORIDA ACCESSIBILITY CODES.
- MAINTAIN 5'-0" TURNING RADIUS DIAMETER OR 'T' TURNING AREA IN TOILET ROOMS AS INDICATED ON PLANS.
- PROVIDE BLOCKING IN TOILET ROOMS TO SUPPORT GRAB BARS. GRAB BARS SHALL SUPPORT 250 POUNDS MINIMUM.
- INSULATE DRAIN AND HOT WATER PIPES IN TOILET ROOMS AS PER CODE.
- SEE INTERIOR ELEVATIONS AND DETAILS FOR ADDITIONAL INFORMATION NOT SHOWN ON PLAN.

Rev.	Date	By	Remarks
1	07.15.2022	AR	PGC Response #1
2	07.15.2022	AR	PGC Response #2
3	07.15.2022	AR	PGC Response #3
4	07.15.2022	AR	PGC Response #4
5	07.15.2022	AR	PGC Response #5
6	07.15.2022	AR	PGC Response #6
7	07.15.2022	AR	PGC Response #7
8	07.15.2022	AR	PGC Response #8
9	07.15.2022	AR	PGC Response #9
10	07.15.2022	AR	PGC Response #10

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City of Tampa

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Phone: 813-291-2916
Fax: 813-283-0056
AA26002694
To the best of my knowledge, these plans and specifications comply with the applicable minimum building codes and applicable minimum fire safety standards as determined in accordance with the 2017 Florida Building Code, 6th Edition.
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20-C00023 KID

Plan Date: 07/15/2022

Scale: 1/4" = 1'-0"

Sheet: 9 OF 82

Page: **A-1.0**

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City of Tampa
CONSTRUCTION SERVICES DIVISION

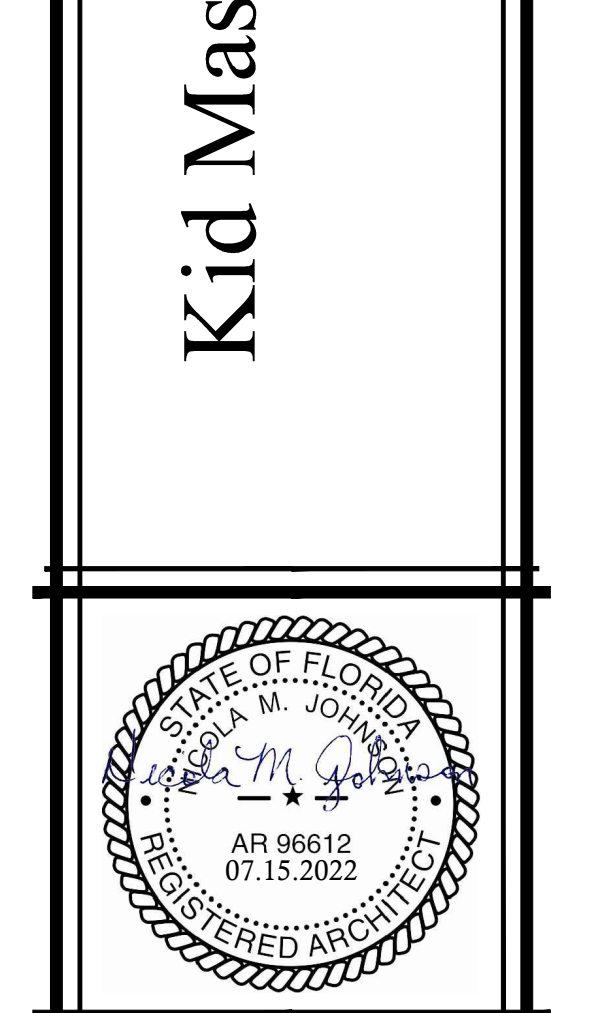
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Scale: 1/4" = 1'-0"
Sheet: 10 OF 82
Page: **A-1.1**

FLOOR PLAN LEGEND

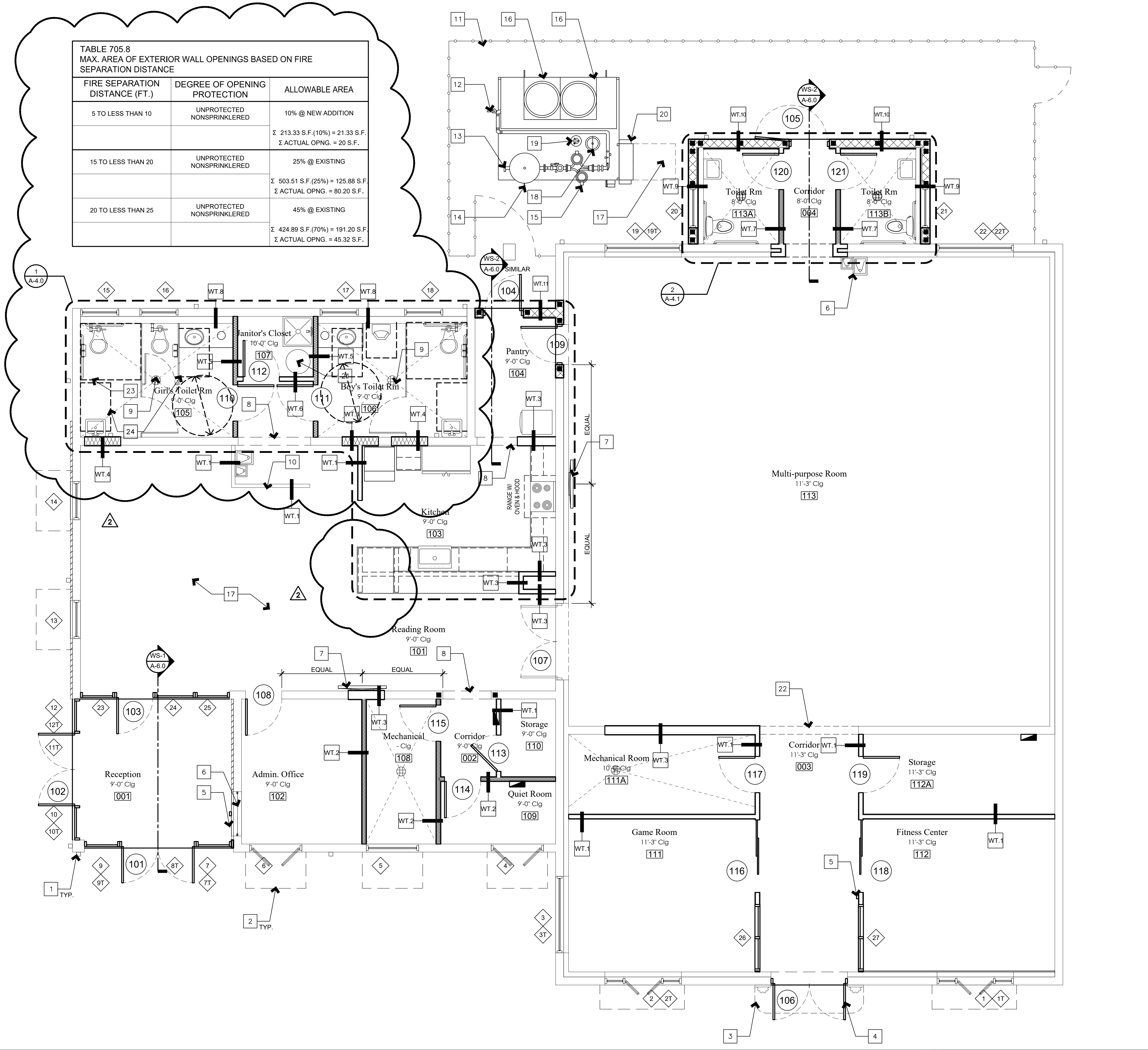
	EXISTING PARTITION WALL TO REMAIN
	EXISTING 1-HR FIRE CMU WALL TO REMAIN
	NEW 1-HR FIRE CMU WALL
	NEW PARTITION WALL
	NEW INSULATED PARTITION WALL - STC 62 MIN.
	(1) #5 REBAR IN FILLED CELL
	NEW CMU WALL W/ FURRING AND DRYWALL. SEE WALL DETAIL.
	(3'-6") DIMENSIONS IN PARENTHESES REFER TO EXISTING DIMENSIONS. THEY ARE FOR INFORMATION ONLY. GENERAL CONTRACTOR TO VERIFY IN FIELD.
	WALL TYPES. SEE SHEET A-5.0
	ELEVATION SYMBOL

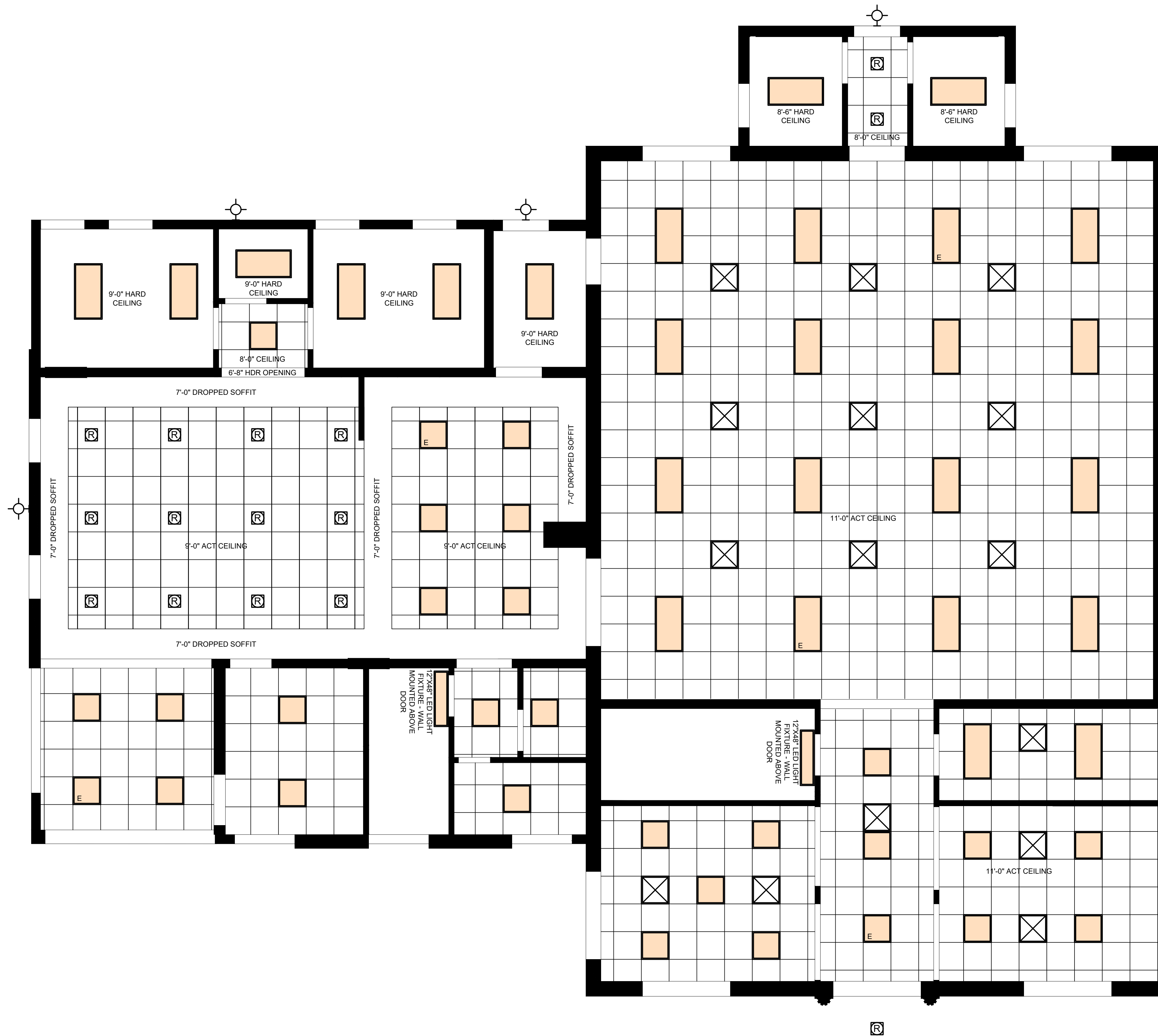
- ### FLOOR PLAN NOTES
1. STAINLESS STEEL DOWNSPOUT, TYP.
 2. NEW WINDOW AWNING ABOVE.
 3. EXISTING CONCRETE AWNING ABOVE.
 4. NEW FOB SYSTEM FOR CITY SELECT CITY EMPLOYEES. SEE ELECTRICAL/TECHNOLOGY DRAWINGS.
 5. NEW CARD READING AND DOOR LOCK. SEE ELECTRICAL/TECHNOLOGY DRAWINGS FOR DETAILS.
 6. ONE WAY GLASS WINDOW - 48" X 48".
 7. FLAT SCREEN TELEVISION. SEE FACILITY MANAGER FOR TELEVISION.
 8. 6'-8" TO BOTTOM OF OPENING HEADER.
 9. FLOOR DRAIN. SEE PLUMBING DRAWINGS FOR DETAILS.
 10. 7'-0" TALL METAL STUD PARTITION WALL.
 11. NEW 6' TALL CHAINLINK FENCE ON 8" THICK CONCRETE PAD.
 12. 2" GROOVED CHWS. SEE MECHANICAL DRAWINGS.
 13. 2" CL 150 CHWR. SEE MECHANICAL DRAWINGS.
 14. AS/BUFFER 200 GALLON. SEE MECHANICAL DRAWINGS.
 15. CHWP-1. SEE MECHANICAL DRAWINGS.
 16. CGAM 20-TON CHILLER. SEE MECHANICAL DRAWINGS.
 17. NEC CLEARANCE - 36" X 42".
 18. ET. SEE MECHANICAL DRAWINGS.
 19. SF. SEE MECHANICAL DRAWINGS.
 20. CONTROL/ VDF PANEL. SEE MECHANICAL DRAWINGS.
 21. WATER HEATER. SEE PLUMBING DRAWINGS
 22. 10'-4" TO BOTTOM OF OPENING HEADER
 23. TOILET CLEARANCE AREA - 56" X 60"
 24. LAVATORY CLEARANCE AREA - 30" X 48"

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Johnson
Date: 2022.07.15
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**TABLE 705.8
MAX. AREA OF EXTERIOR WALL OPENINGS BASED ON FIRE SEPARATION DISTANCE**

FIRE SEPARATION DISTANCE (FT.)	DEGREE OF OPENING PROTECTION	ALLOWABLE AREA
5 TO LESS THAN 10	UNPROTECTED NONSPRINKLERED	10% @ NEW ADDITION Σ 213.33 S.F. (10%) = 21.33 S.F. Σ ACTUAL OPNG. = 20 S.F.
15 TO LESS THAN 20	UNPROTECTED NONSPRINKLERED	25% @ EXISTING Σ 503.51 S.F. (25%) = 125.88 S.F. Σ ACTUAL OPNG. = 80.20 S.F.
20 TO LESS THAN 25	UNPROTECTED NONSPRINKLERED	45% @ EXISTING Σ 424.89 S.F. (70%) = 191.20 S.F. Σ ACTUAL OPNG. = 45.32 S.F.





ELECTRICAL NOTES

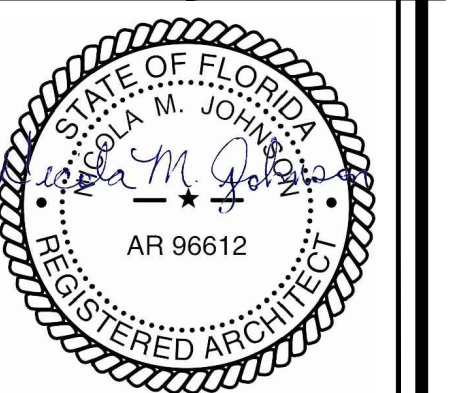
- DRAWINGS ARE DIAGRAMMATIC AND SHALL NOT BE SCALED.
- ELECTRICIAN SHALL VERIFY EQUIPMENT QUANTITIES AND LOCATIONS SHOWN ON PLANS CONFORM TO ALL APPLICABLE LOCAL STANDARDS, CODES, AND ORDINANCES AND EQUIPMENT MANUFACTURER'S REQUIREMENTS
- SWITCHES, RECEPTACLES, OR JUNCTION BOXES SHALL NOT BE PLACED IN A BACK TO BACK CONFIGURATION
- ALL SWITCHES AND OUTLETS SHALL BE DECORA WHITE, EXCEPT IN COUNTERTOP
- ALL RECESSED CANS MUST BE IC RATED FIXTURES WITH NO BULB LARGER THAN 75 WATTS
- CONTRACTOR OPTIONAL ELECTRICAL SERVICE DESIGN REVISIONS MUST BE ACCOMPANIED BY APPROPRIATE PLANS REVIEW, CALCULATIONS, RISER DIAGRAMS, ETC.

SYMBOL	DESCRIPTION
	BREAKER PANEL
	POWER COMPANY METER & DISCONNECT
	AIR CONDITIONING DISCONNECT
	LED LIGHT FIXTURE - RECESSED CEILING MOUNTED
	JUNCTION BOX
	LED LIGHT FIXTURE - WALL MOUNTED
	LED EXTERIOR LIGHT FIXTURE - CEILING MOUNTED
	JUNCTION BOX
	LED LIGHT FIXTURE - 24 X 24 RECESSED CEILING MOUNTED
	LED LIGHT FIXTURE - 24 X 48 RECESSED CEILING MOUNTED
	LED LIGHT FIXTURE - EMERGENCY
	DUPLEX RECEPTACLE
	210V, 220V, OR 240V. SEE MEP DRAWINGS FOR APPLICATION
	SINGLE POLE SWITCH
	MULTIPLE POLE SWITCH
	SMOKE DETECTOR - HARDWIRED
	DATA PORT
	EXHAUST FAN
	DIFFUSER - AIR SUPPLY
	PADDLE FAN WITH 36" PADDLES & LIGHT KIT

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 Sheet: 11 OF 80
A-1.2

DOOR SCHEDULE																
DOOR ID.	ROOM No.	ROOM NAME	DOOR					FRAME	THRESHOLD	HARDWARE	REMARKS	HARDWARE GROUP				
			TYPE	RATING	WIDTH	HEIGHT	THK.					MATERIAL	MATERIAL	GROUP	DESCRIPTION	QTY.
101	001	RECEPTION	G	-	6'-0"	6'-8"	-	METAL, GLASS	H.M.	PLASTIC	HW3	TRANSOM 08T ABV., PROVIDE PANIC HARDWARE	HW1 SINGLE OFFICE DOOR (UNRATED)			
102	001	RECEPTION	G	-	6'-0"	6'-8"	-	METAL, GLASS	H.M.	PLASTIC	HW3	TRANSOM 11T ABOVE. PROVIDE PANIC HARDWARE	HINGES (3) EA. FBB179 4-1/2" X 4-1/2"		US26D	
103	101	READING ROOM	E	-	3'-0"	6'-8"	-	METAL, GLASS	H.M.	PLASTIC	HW3	PROVIDE PANIC HARDWARE	LOCKSET (1) EA. CORBIN RUSSWIN CL3800 SERIES WITH AZD TRIM		BHMA 626	
104	104	PANTRY	A	STC 47	3'-0"	6'-8"	1-3/4"	S.C. WOOD, FLUSH, PT	H.M.	PLASTIC	HW1	PROVIDE PANIC HARDWARE	WALL STOP (1) EA. 408		US32D	
105	113	M.PURPOSE RM.	A	STC 47	3'-0"	6'-8"	1-3/4"	METAL, FLUSH, PT	H.M.	PLASTIC	HW1	PROVIDE PANIC HARDWARE, 45-MIN FIRE RATED, NO GLAZING	SILENCER (3) EA. 20			
106	113	M.PURPOSE RM.	C	-	6'-0"	8'-0"	-	METAL, GLASS	H.M.	PLASTIC	HW3		HW2 TOILET ROOM DOOR (UNRATED)			
107	101	READING ROOM	EXISTING TO REMAIN													
108	102	ADMIN. OFFICE	B	STC 47	3'-0"	6'-8"	1-3/4"	S.C. WOOD, FLUSH, PT	H.M.	PLASTIC	HW1		CLOSER (1) EA. 4041 SPRING-CRUSH X TBMS		ALUM. US26D	
109	104	PANTRY	A	STC 47	3'-0"	6'-8"	1-3/4"	METAL, FLUSH, PT	H.M.	PLASTIC	HW1	1-HOUR FIRE RATED	HINGES (3) EA. FBB179 4-1/2" X 4-1/2"			
110	105	G. TOILET RM.	A	STC 47	3'-0"	6'-8"	1-3/4"	S.C. WOOD, FLUSH, PT	H.M.	CERAMIC	HW2		LOCKSET (1) EA. CORBIN RUSSWIN CL3800 SERIES WITH AZD TRIM		BHMA 626	
111	106	B. TOILET RM.	A	STC 47	3'-0"	6'-8"	1-3/4"	S.C. WOOD, FLUSH, PT	H.M.	CERAMIC	HW2		KICK PLATE (1) EA. 10 10" X 2" LDW		US32D	
112	107	JANITOR CLO.	A	STC 47	3'-0"	6'-8"	1-3/4"	S.C. WOOD, FLUSH, PT	H.M.	CERAMIC	HW1		SILENCER (3) EA. 20			
113	108	MECHANICAL RM.	A	-	3'-0"	6'-8"	1-3/4"	METAL	H.M.	PLASTIC	HW1		HW3 DOUBLE DOOR (UN-RATED)			
114	109	STORAGE	A	-	3'-0"	6'-8"	1-3/4"	S.C. WD./GLASS, FLUSH, PT	H.M.	PLASTIC	HW2		CLOSER (2) EA. 4041 SPRING-CRUSH X TBMS		ALUM. US26D	
115	110	QUIET RM.	B	STC 47	3'-0"	6'-8"	1-3/4"	S.C. WD./GLASS, FLUSH, PT	H.M.	PLASTIC	HW1		HINGES (6) EA. FBB179 4-1/2" X 4-1/2"			
116	111	GAME ROOM	F	-	6'-0"	6'-8"	1-3/4"	METAL, TEMPERED GLASS	H.M.	PLASTIC	HW3		LOCKSET (1) EA. CORBIN RUSSWIN CL3800 SERIES WITH AZD TRIM		BHMA 626	
117	111A	MECHANICAL RM.	A	-	3'-0"	6'-8"	1-3/4"	METAL	H.M.	PLASTIC	HW1		WALL STOP (2) EA. 408		US32D	
118	112	FITNESS CENTER	F	-	6'-0"	6'-8"	1-3/4"	METAL, TEMPERED GLASS	H.M.	PLASTIC	HW3		CYLINDER (1) EA. CORBIN RUSSWIN CL3800 SERIES WITH AZD TRIM		BHMA 626	
119	112A	STORAGE	A	-	3'-0"	6'-8"	1-3/4"	METAL	H.M.	PLASTIC	HW1		ASTRAGAL (1) EA. 835S		ALUM. US32D	
120	113A	UNISEX TOILET	A	STC 47	3'-0"	6'-8"	1-3/4"	S.C. WOOD, FLUSH, PT	H.M.	PLASTIC	HW1		PUSH PLATE (2) EA. 30S 6"X16"		US32D	
121	113B	UNISEX TOILET	A	STC 47	3'-0"	6'-8"	1-3/4"	S.C. WOOD, FLUSH, PT	H.M.	CERAMIC	HW2		PULL PLATE (2) EA. H31G 6 6"X16"		US32D	
121	113B	UNISEX TOILET	A	STC 47	3'-0"	6'-8"	1-3/4"	S.C. WOOD, FLUSH, PT	H.M.	CERAMIC	HW2		SILENCER (6) EA. 20			

ALL EXTERIOR DOORS ARE IMPACT RESISTANT

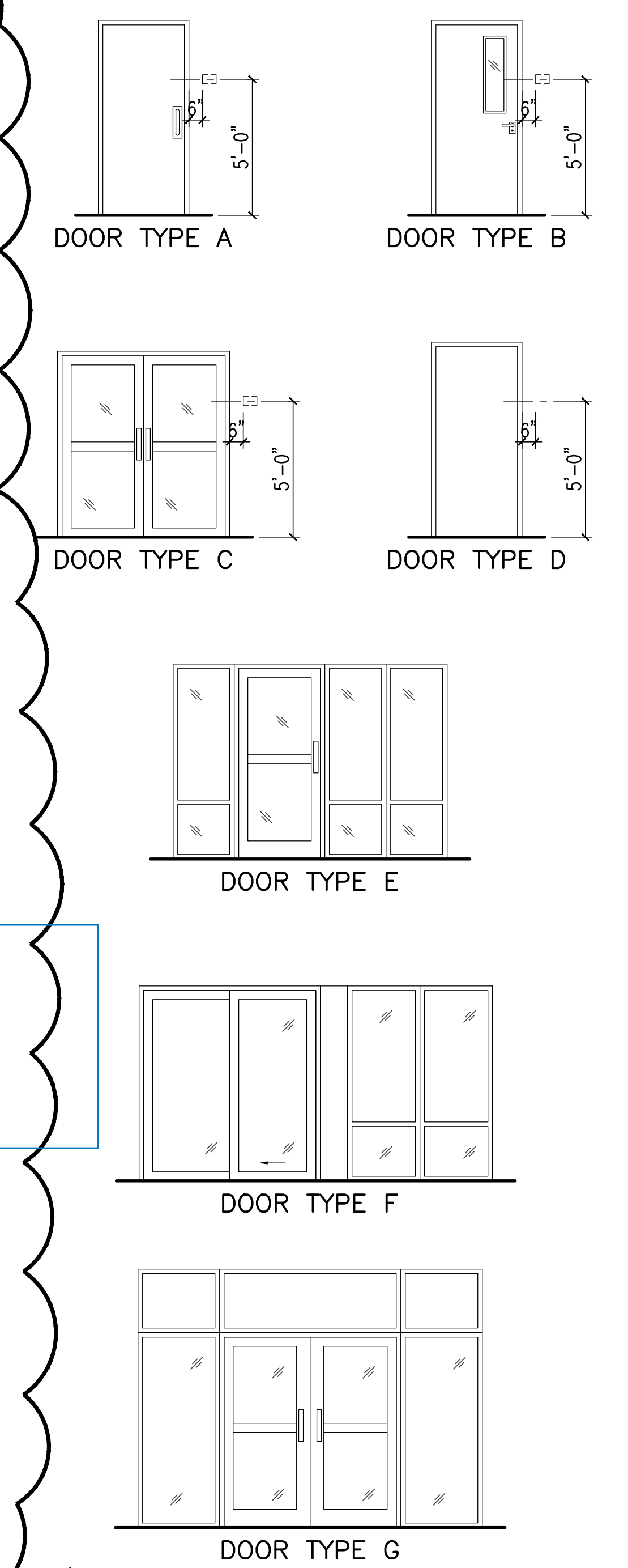
WINDOW SCHEDULE													
WINDOW ID.	WINDOW			FRAME	GLASS	REMARKS	TRANSOM			FRAME	GLASS	REMARKS	
	WIDTH	HEIGHT	MATERIAL				ID.	WIDTH	HEIGHT				MATERIAL
01	(2)3'-0"	4'-0"	METAL, LAMINATED GLASS	H.M.	LOW-E, TINTED	TRANSOM 01T ABOVE	01T	(2)3'-0"	2'-0"	METAL, LAMINATED GLASS	H.M.	LOW-E, TINTED	
02	(2)3'-0"	4'-0"	METAL, LAMINATED GLASS	H.M.	LOW-E, TINTED	TRANSOM 02T ABOVE	02T	(2)3'-0"	2'-0"	METAL, LAMINATED GLASS	H.M.	LOW-E, TINTED	
03	(2)3'-0"	4'-0"	METAL, LAMINATED GLASS	H.M.	LOW-E, TINTED	TRANSOM 03T ABOVE	03T	(2)3'-0"	2'-0"	METAL, LAMINATED GLASS	H.M.	LOW-E, TINTED	
04	4'-0"	2'-0"	METAL, LAMINATED GLASS	H.M.	LOW-E, TINTED								
05	4'-0"	2'-0"	METAL, LAMINATED GLASS	H.M.	LOW-E, TINTED								
06	4'-0"	2'-0"	METAL, LAMINATED GLASS	H.M.	LOW-E, TINTED								
07	2'-4"	6'-8"	METAL, LAMINATED GLASS	H.M.	LOW-E, TINTED	TRANSOM 07T ABOVE	07T	2'-4"	2'-4"	METAL, LAMINATED GLASS	H.M.	LOW-E, TINTED	
08													
09	2'-4"	6'-8"	METAL, LAMINATED GLASS	H.M.	LOW-E, TINTED	TRANSOM 09T ABOVE	09T	2'-4"	2'-4"	METAL, LAMINATED GLASS	H.M.	LOW-E, TINTED	
10	2'-4"	6'-8"	METAL, LAMINATED GLASS	H.M.	LOW-E, TINTED	TRANSOM 10T ABOVE	10T	2'-4"	2'-4"	METAL, LAMINATED GLASS	H.M.	LOW-E, TINTED	
11													
12	2'-4"	6'-8"	METAL, LAMINATED GLASS	H.M.	LOW-E, TINTED	TRANSOM 12T ABOVE	12T	2'-4"	2'-4"	METAL, LAMINATED GLASS	H.M.	LOW-E, TINTED	
13	3'-0"	6'-0"	METAL, LAMINATED GLASS	H.M.	LOW-E, TINTED								
14	3'-0"	6'-0"	METAL, LAMINATED GLASS	H.M.	LOW-E, TINTED								
15	2'-0"	3'-0"	METAL, LAMINATED GLASS	H.M.	LOW-E, CLEAR								
16	2'-0"	3'-0"	METAL, LAMINATED GLASS	H.M.	LOW-E, CLEAR								
17	2'-0"	3'-0"	METAL, LAMINATED GLASS	H.M.	LOW-E, CLEAR								
18	2'-0"	3'-0"	METAL, LAMINATED GLASS	H.M.	LOW-E, CLEAR								
19	(2)3'-0"	4'-0"	METAL, LAMINATED GLASS	H.M.	LOW-E, CLEAR	TRANSOM 19T ABOVE	19T	(2)3'-0"	2'-0"	METAL, LAMINATED GLASS	H.M.	LOW-E, CLEAR	
20	2'-0"	3'-0"	METAL, LAMINATED GLASS	H.M.	LOW-E, CLEAR								
21	2'-0"	3'-0"	METAL, LAMINATED GLASS	H.M.	LOW-E, CLEAR								
22	(2)3'-0"	4'-0"	METAL, LAMINATED GLASS	H.M.	LOW-E, CLEAR	TRANSOM 22T ABOVE	22T	(2)3'-0"	2'-0"	METAL, LAMINATED GLASS	H.M.	LOW-E, CLEAR	
23	3'-0"	6'-8"	METAL, LAMINATED GLASS	H.M.	CLEAR	IMPACT RESISTANT STOREFRONT GLAZING							
24	3'-0"	6'-8"	METAL, LAMINATED GLASS	H.M.	CLEAR	IMPACT RESISTANT STOREFRONT GLAZING							
25	3'-0"	6'-8"	METAL, LAMINATED GLASS	H.M.	CLEAR	IMPACT RESISTANT STOREFRONT GLAZING							
26	(2)2'-8"	6'-8"	METAL, LAMINATED GLASS	H.M.	CLEAR								
27	(2)2'-8"	6'-8"	METAL, LAMINATED GLASS	H.M.	CLEAR								

ALL WINDOWS ARE IMPACT RESISTANT

FINISH SCHEDULE										
ROOM NUMBER	ROOM NAME	FLOOR		WALLS				CEILING		REMARKS
		FLOOR	BASE	NORTH	EAST	SOUTH	WEST	FINISH	HEIGHT	
001	RECEPTION	LT-1	-	-	PT-4	-	-	PT-1	9'-4"	
002	CORRIDOR	LT-1	WOOD	PT-1	PT-1	PT-1	PT-1	ACT	EXISTING	
003	CORRIDOR	LT-1	WOOD	PT-1	PT-1	PT-1	PT-1	ACT	EXISTING	
004	CORRIDOR	LT-1	WOOD	PT-1	PT-1	PT-1	PT-1	ACT	EXISTING	
101	READING ROOM	LT-1	WOOD	PT-5	PT-5	EXISTING	PT-5	ACT	SEE RCP	
102	ADMINISTRATION OFF.	LT-1	WOOD	PT-1	PT-1	PT-1	PT-1	ACT	EXISTING	
103	KITCHEN	LT-1	WOOD	PT-1	PT-1	PT-1	PT-1	ACT	SEE RCP	
104	PANTRY	LT-1	WOOD	PT-1	PT-1	PT-1	PT-1	ACT	9'-0"	
105	RESTROOM - FEMALE	CT-1	CTB-1	CT-1	CT-1/2	CT-1/2	CT-1/2	PT-1	EXISTING	
106	RESTROOM - MALE	CT-1	CTB-1	CT-1	CT-1/3	CT-1/3	CT-1/3	PT-1	EXISTING	
107	JANITOR	CT-1	CTB-1	CT-1	CT-1/3	CT-1/3	CT-1/3	PT-1	EXISTING	
108	MECHANICAL ROOM	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	
109	QUIET ROOM	LT-1	WOOD	PT-1	PT-1	PT-1	PT-1	ACT	EXISTING	
110	STORAGE	CT-1	CTB-1	CT-1	CT-1/2	CT-1/2	CT-1/2	PT-1	EXISTING	
111	GAME ROOM	LT-1	WOOD	PT-1	-	PT-1	PT-1	ACT	EXISTING	
111A	MECHANICAL ROOM	LT-1	WOOD	PT-1	PT-1	PT-1	PT-1	ACT	EXISTING	
112	FITNESS ROOM	LT-1	WOOD	PT-1	PT-1	PT-1	-	ACT	EXISTING	
112A	STORAGE	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	
113	MULTI-PURPOSE RM.	LT-1	WOOD	PT-1	PT-1	PT-1	PT-1	ACT	EXISTING	
113A	RESTROOM - FEMALE	CT-1	CTB-1	CT-1	CT-1/2	CT-1/2	CT-1/2	PT-1	9'-0"	
113B	RESTROOM - MALE	CT-1	CTB-1	CT-1	CT-1/3	CT-1/3	CT-1/3	PT-1	9'-0"	

INTERIOR WALL AND CEILING FINISH SHALL BE TYPE 'A' CLASSIFICATION

Flooring Plan scale 1/4" = 1'-0"



- GENERAL CONTRACTOR AND SUBCONTRACTOR SHALL FIELD VERIFY ALL EXISTING EXTERIOR WINDOW AND DOOR OPENINGS PRIOR TO ORDERING REPLACEMENT WINDOWS AND DOORS FOR INSTALLATION.
- ELECTRICIAN SHALL VERIFY EQUIPMENT QUANTITIES AND LOCATIONS SHOWN ON PLANS CONFORM TO ALL APPLICABLE LOCAL STANDARDS, CODES, AND ORDINANCES AND EQUIPMENT MANUFACTURER'S REQUIREMENTS
- SWITCHES, RECEPTACLES, OR JUNCTION BOXES SHALL NOT BE PLACED IN A BACK TO BACK CONFIGURATION
- ALL SWITCHES AND OUTLETS SHALL BE DECORA WHITE, EXCEPT IN COUNTERTOP
- ALL RECESSED CANS MUST BE IC RATED FIXTURES WITH NO BULB LARGER THAN 75 WATTS
- CONTRACTOR OPTIONAL ELECTRICAL SERVICE DESIGN REVISIONS MUST BE ACCOMPANIED BY APPROPRIATE PLANS REVIEW, CALCULATIONS, RISER DIAGRAMS, ETC.

Digitally signed by Nicola M Johnson Date: 2022.07.15 14:11:43 -04'00'

City of Tampa CONSTRUCTION SERVICES DIVISION

Rev.	Date	By	Remarks
1	06.08.2022	AR	FOR PERMIT REVIEW
2	07.15.2022	AR	FOR RESPONSE #1
3			IT IS UNLAWFUL TO MAKE CHANGES OR ALTERATIONS WITHOUT WRITTEN APPROVAL FROM THE ARCHITECT.
4			THE STAMPING OF THIS PLAN SHALL NOT BE HELD TO PERMIT OR APPROVE THE VIOLATION OF ANY CITY OR STATE CODES OR REGULATIONS FOR CODE COMPLIANCE.
5			
6			
7			
8			
9			
10			

AR ARCONIAL ARCHITECTURE, LLC A220002694
1211 Tech Boulevard - Suite 134, Tampa, FL 33619
Phone: 813-291-2916 Fax: 813-283-0056

TO THE BEST OF MY KNOWLEDGE, THESE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH THE 2017 FLORIDA BUILDING CODE 6th EDITION.

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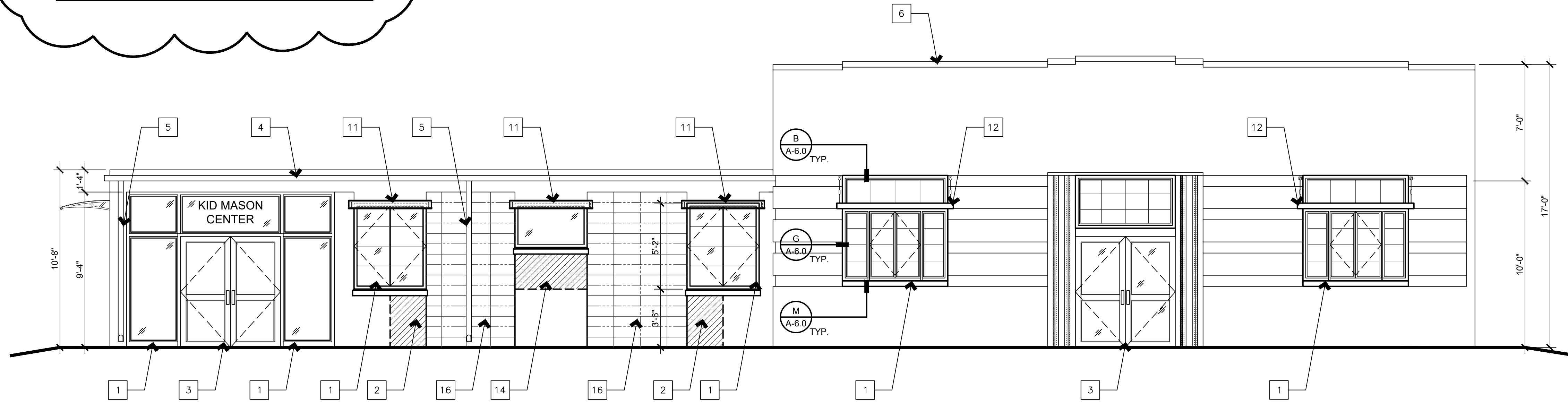
Proposed Renovation Exclusively For:
Kid Mason Community Center
1101 N Jefferson Street
Tampa, FL 33602
City of Tampa

AR 96612
07.15.2022
REGISTERED ARCHITECT

20-C00023 KID

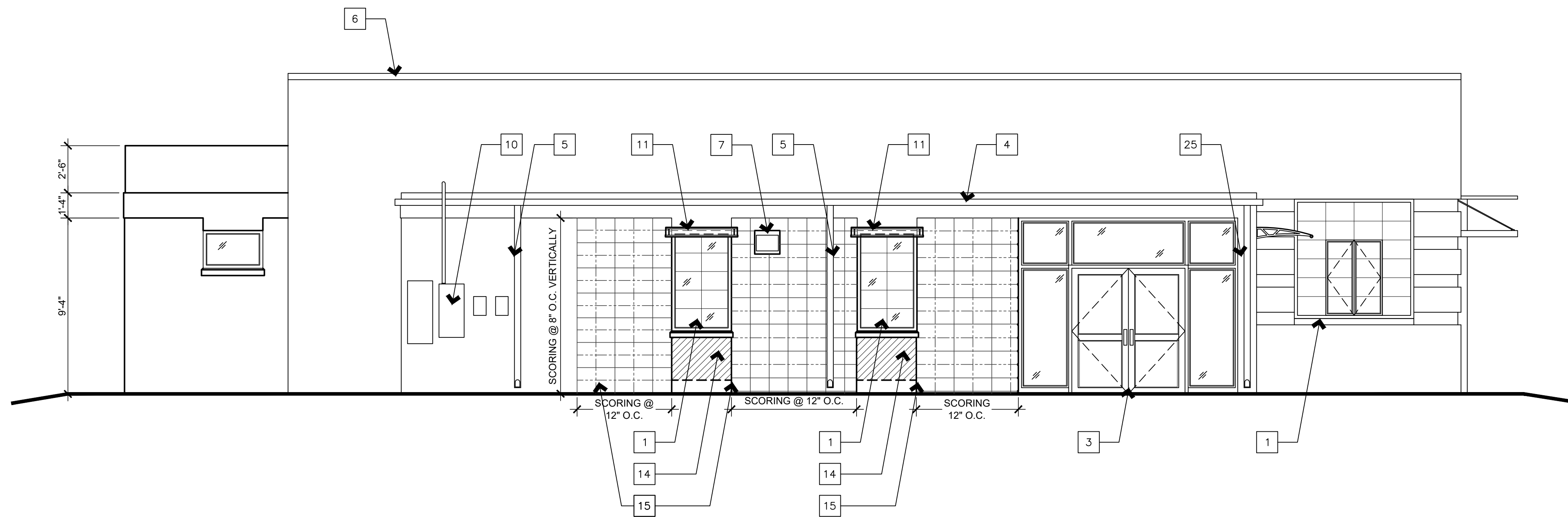
Plan Date: 07/15/2022
Scale: 1/4" = 1'-0"
Sheet: 12 OF 82
Page: **A-2.0**

GC SHALL PROVIDE AWNING SHOP DRAWING DESIGNS (KEYNOTE 11 & 12), PLATES, AND CONNECTIONS PROVIDED BY AWNING MANUFACTURER. AWNING DESIGN SHALL BE SUBMITTED TO BUILDING DEPARTMENT FOR REVIEW AND APPROVAL.



Proposed E Harrison Street Elevation

scale 1/4" = 1'-0"



Proposed Jefferson Street Elevation

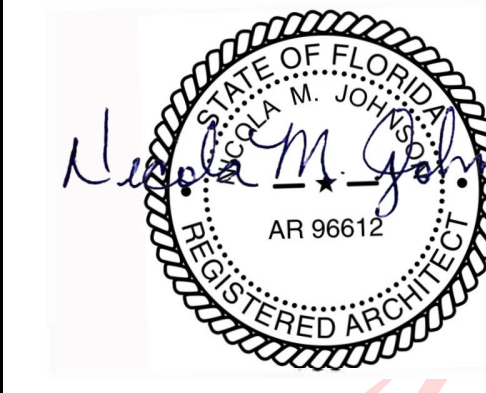
scale 1/4" = 1'-0"

ELEVATION KEYNOTES

1. NEW IMPACT RESISTANT WINDOW: REFER TO WINDOW SCHEDULE
2. REMOVE SCORED STUCCO TO SMOOTH FINISH TO MATCH EXISTING ADJACENT SURFACES.
3. NEW IMPACT RESISTANT STOREFRONT ASSEMBLY.
4. EXISTING STAINLESS STEEL GUTTER TO REMAIN.
5. EXISTING STAINLESS STEEL DOWNSPOUT TO REMAIN.
6. EXISTING STAINLESS STEEL WALL CAP TO REMAIN.
7. NEW POLYCARBONATE FLOOD LIGHT. REFER ELECTRICAL PLAN.
8. NEW STAINLESS STEEL DOWNSPOUT.
9. NEW STAINLESS STEEL GUTTER TO MATCH EXISTING.
10. ELECTRICAL EQUIPMENT. SEE ELECTRICAL DRAWINGS.
11. 60" WIDE X 36" LONG POLYCARBONATE AWNING WITH ANODIZED ALUMINUM FRAME. MANUFACTURER: PALRAM MODEL: AQUILA
12. 84" WIDE BY 36" LONG X 4" HIGH ANODIZED ALUMINUM AWNING WITH CLEVIS ARM. MANUFACTURER: METAL AWNING
13. NEW PAINTED STEEL DOOR. SEE DOOR SCHEDULE
14. CMU INFILL AT OPENING. SEE DETAILS R/A-6.0.
15. NEW SCORED STUCCO.
16. EXISTING SCORED STUCCO TO REMAIN.
17. 30" HIGH PARAPET WALL
18. 4X6 SCUPPER W/ RAIN COLLECTION BOX BELOW

AWNING LAYOUT AND DESIGN SHALL BE PROVIDED BY AWNING FABRICATOR. AWNING LAYOUT AND DESIGN SHALL BE COORDINATED WITH ARCHITECT. AWNING FABRICATOR SHALL PREPARE LAYOUT, DESIGN, AND CONNECTIONS FOR REVIEW AND APPROVAL BY THE BUILDING DEPARTMENT.

City of Tampa
PLANNING AND DEVELOPMENT
URBAN DESIGN APPROVAL
Signed: Andy Mikulski Date: 8/2/2022
Any changes to these drawings must be approved by the Planning & Urban Design Division
Note: This Approval specifically pertains to Development Design Review only, relative to Overlay District Design Standards. This approval does NOT serve as an all-inclusive approval for the City of Tampa (all departments) as a whole.
REVIEWED FOR CODE COMPLIANCE

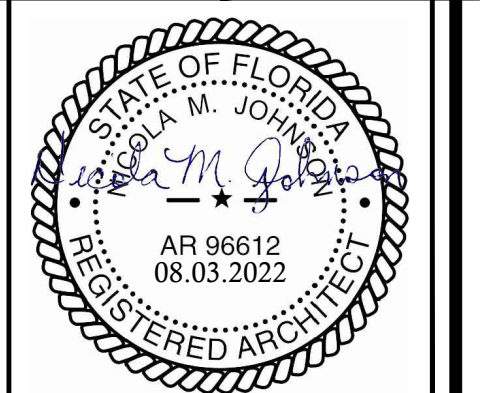


Digitally signed by Nicola M Johnson
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Rev.	Date	By	Remarks
1	06.08.2022	AR	FOR REVIEW
2	07.15.2022	AR	FOR REVIEW
3	08.03.2022	AR	FOR REVIEW
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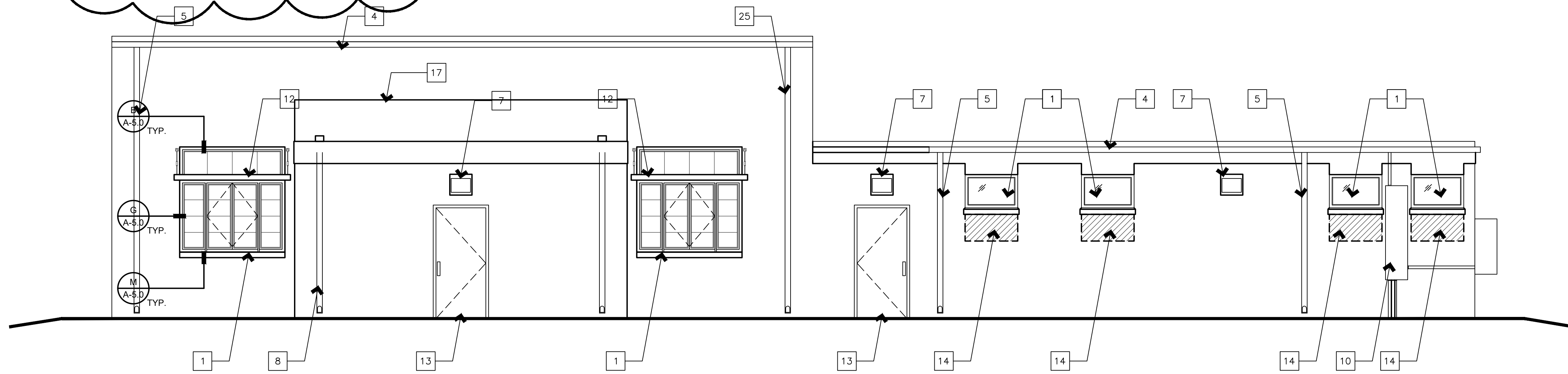
AR ARCONIAL ARCHITECTURE, LLC
1211 Tech Boulevard - Suite 134, Tampa, FL 33619
Phone: 813-291-2716 Fax: 813-283-0056
A-A22002694
TO THE BEST OF MY KNOWLEDGE, THESE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH THE 2017 FLORIDA BUILDING CODE 6th EDITION.
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Proposed Renovation Exclusively For:
Kid Mason Community Center
1101 N Jefferson Street
Tampa, FL 33602
City of Tampa



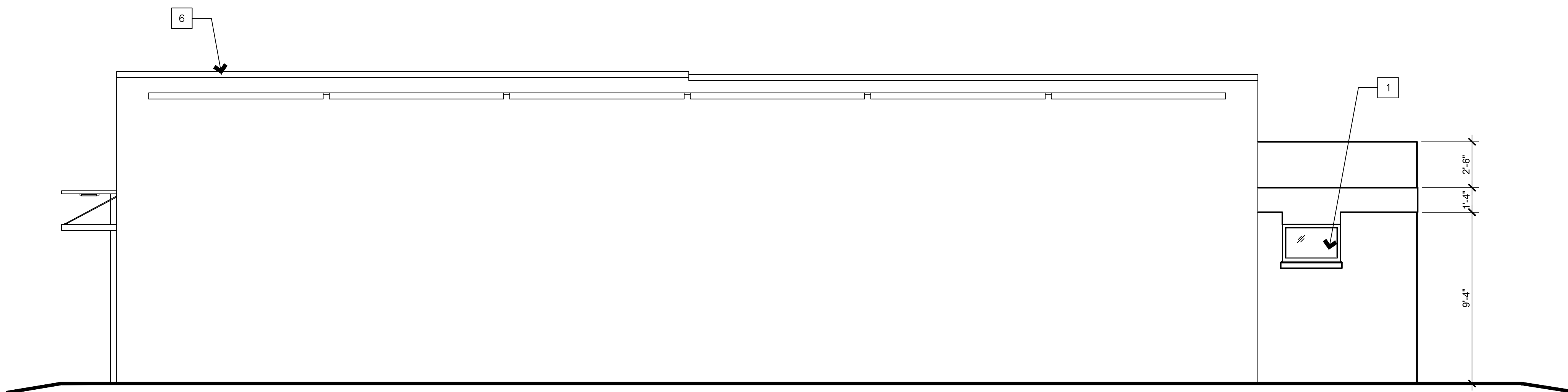
20-C00023 KID
Plan Date: 08/03/2022
Scale: 1/4" = 1'-0"
Sheet: 13 OF 82
Page: **A-3.0**

GC SHALL PROVIDE AWNING SHOP DRAWING DESIGNS (KEYNOTE 11 & 12), PLATES, AND CONNECTIONS PROVIDED BY AWNING MANUFACTURER. AWNING DESIGN SHALL BE SUBMITTED TO BUILDING DEPARTMENT FOR REVIEW AND APPROVAL.



Proposed Rear Elevation

scale 1/4" = 1'-0"



Proposed Orange Street Elevation

scale 1/4" = 1'-0"

ELEVATION KEYNOTES

1. NEW IMPACT RESISTANT WINDOW: REFER TO WINDOW SCHEDULE
2. REMOVE SCORED STUCCO TO SMOOTH FINISH TO MATCH EXISTING EXISTING ADJACENT SURFACES.
3. NEW IMPACT RESISTANT STOREFRONT ASSEMBLY.
4. EXISTING STAINLESS STEEL GUTTER TO REMAIN.
5. EXISTING STAINLESS STEEL DOWNSPOUT TO REMAIN.
6. EXISTING STAINLESS STEEL WALL CAP TO REMAIN.
7. NEW POLYCARBONATE FLOOD LIGHT. REFER ELECTRICAL PLAN.
8. NEW STAINLESS STEEL DOWNSPOUT.
9. NEW STAINLESS STEEL GUTTER TO MATCH EXISTING.
10. ELECTRICAL EQUIPMENT. SEE ELECTRICAL DRAWINGS.
11. 60" WIDE X 36" LONG POLYCARBONATE AWNING WITH ANODIZED ALUMINUM FRAME. MANUFACTURER: PALRAM MODEL: AQUILA
12. 84" WIDE BY 36" LONG X 4" HIGH ANODIZED ALUMINUM AWNING WITH CLEVIS ARM. MANUFACTURER: METAL AWNING
13. NEW PAINTED STEEL DOOR. SEE DOOR SCHEDULE
14. CMU INFILL AT OPENING. SEE DETAILS R/A-6.0.
15. NEW SCORED STUCCO.
16. EXISTING SCORED STUCCO TO REMAIN.
17. 30" HIGH PARAPET WALL
18. 4X6 SCUPPER W/ RAIN COLLECTION BOX BELOW

AWNING LAYOUT AND DESIGN SHALL BE PROVIDED BY AWNING FABRICATOR. AWNING LAYOUT AND DESIGN SHALL BE COORDINATED WITH ARCHITECT. AWNING FABRICATOR SHALL PREPARE LAYOUT, DESIGN, AND CONNECTIONS FOR REVIEW AND APPROVAL BY THE BUILDING DEPARTMENT.

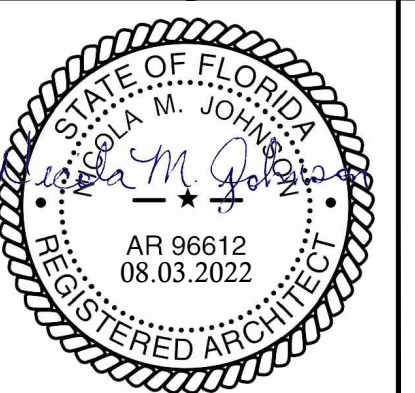


Digitally signed by Nicola M Johnson
Date: 2022.08.15 09:46:59 -04'00'

Rev.	Date	By	Remarks
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2	07.15.2022	AR	FOR REVIEW
3	08.03.2022	AR	FOR REVIEW
4			
5			
6			
7			
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9			
10			

AR ARCONIAL ARCHITECTURE, LLC
 1211 Tech Boulevard - Suite 134, Tampa, FL 33619
 Phone: 813-291-2916 Fax: 813-283-0056
 TO THE BEST OF MY KNOWLEDGE, THESE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH THE 2017 FLORIDA BUILDING CODE 6th EDITION.
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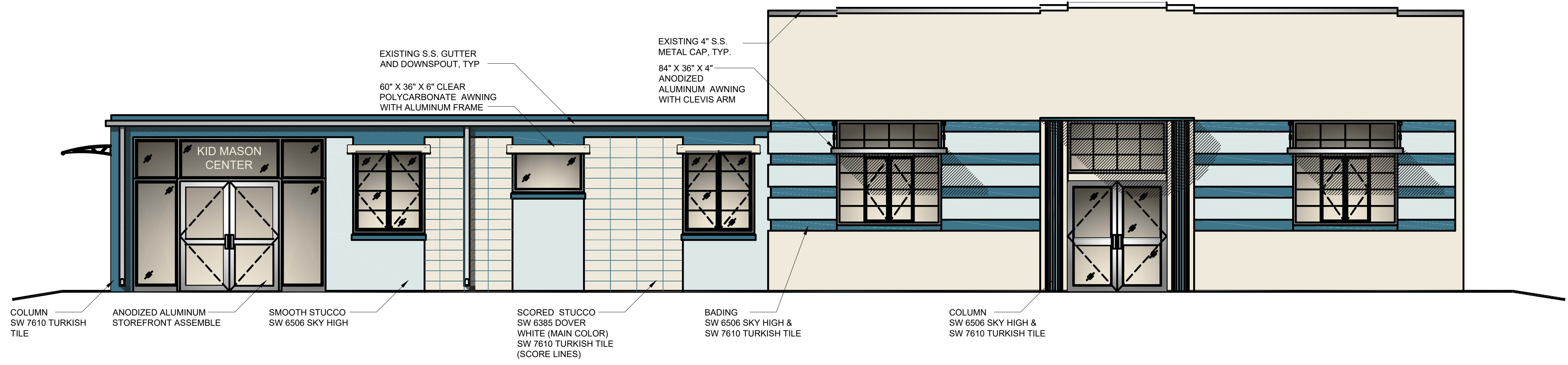
Proposed Renovation Exclusively For:
Kid Mason Community Center
 1101 N Jefferson Street
 Tampa, FL 33602
 City of Tampa



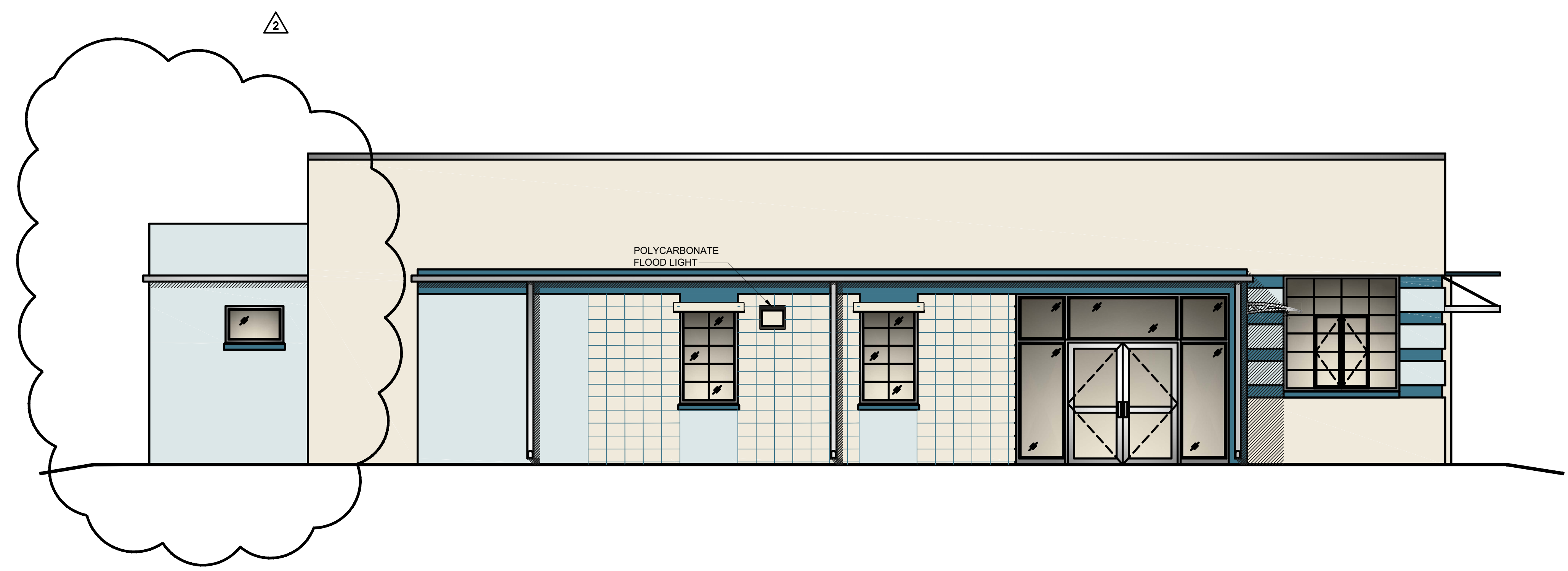
20-C00023 KID

Plan Date: 08/03/2022
 Scale: 1/4" = 1'-0"
 Sheet: 14 OF 82

Page: **A-3.1**



E Harrison Street Elevation scale 1/4" = 1'-0"

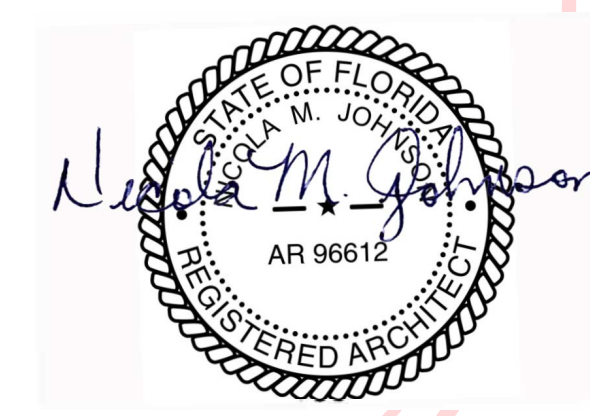


N Jefferson Street Elevation scale 1/4" = 1'-0"

City of Tampa
PLANNING AND DEVELOPMENT
URBAN DESIGN APPROVAL

Signed	Andy Mikulski	Date	8/8/2022
---------------	---------------	-------------	----------

Any changes to these drawings must be approved by the Planning & Urban Design Division
 Note: This Approval specifically pertains to Development Design Review only, relative to Overlay District Design Standards. This approval does NOT serve as an all-inclusive approval for the City of Tampa (all departments) as a whole.
REVIEWED FOR CODE COMPLIANCE

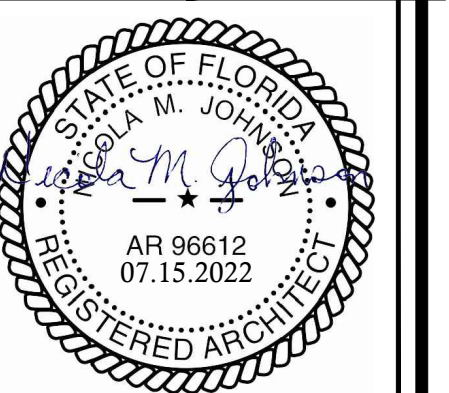


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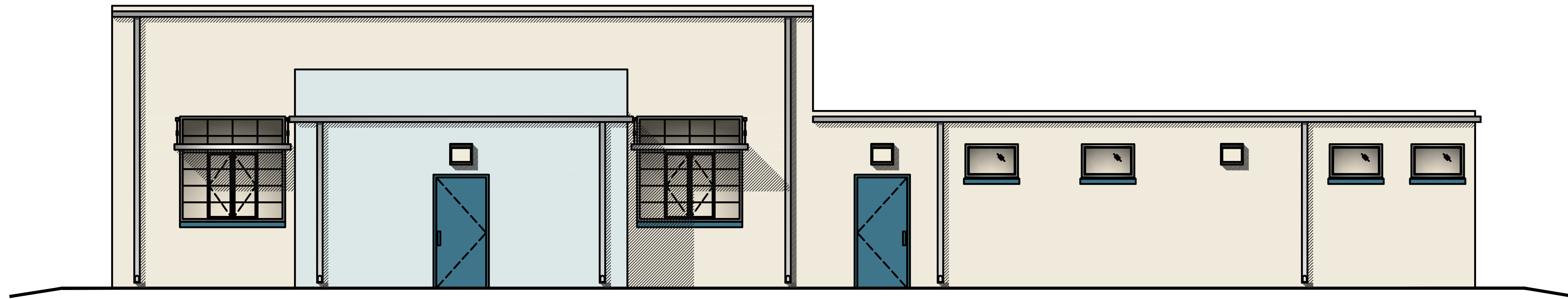
Rev.	Date	By	Remarks
1	06.08.2022	AR	FOR PERMIT
2	07.15.2022	AR	PRG Response #1
3			PRG Response #2
4			It is unlawful to make changes or alterations without written approval of the Planning and Urban Design Division.
5			The Stamping of this plan shall not be held to permit or approve the violation of any City or State Codes.
6			FOR CODE COMPLIANCE
7			
8			
9			
10			

AR ARCONIAL ARCHITECTURE, LLC
 1211 Tech Boulevard - Suite 134, Tampa, FL 33619
 Phone: 813-291-2916 Fax: 813-283-0056
 TO THE BEST OF MY KNOWLEDGE, THESE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH THE 2017 FLORIDA BUILDING CODE 6th EDITION.
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Proposed Renovation Exclusively For:
Kid Mason Community Center
 1101 N Jefferson Street
 Tampa, FL 33602
 City of Tampa



20-C00023 KID
 Plan Date: 07/15/2022
 Scale: 1/4" = 1'-0"
 Sheet: 15 OF 82
A-3.2

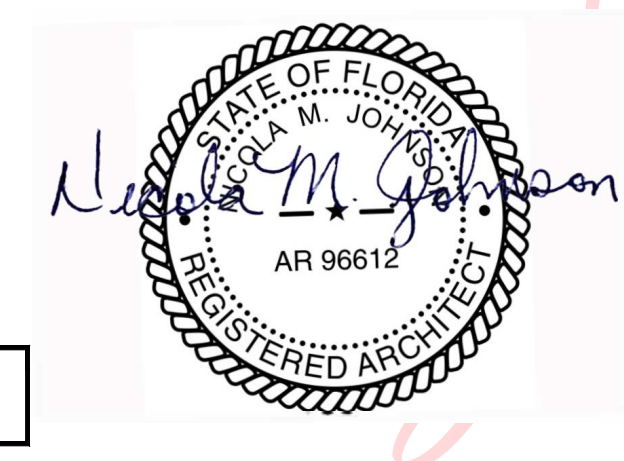


Rear Elevation scale 1/4" = 1'-0"



Orange Street Elevation scale 1/4" = 1'-0"

City of Tampa
 PLANNING AND DEVELOPMENT
 URBAN DESIGN APPROVAL
 Signed: Andy Mikutski Date: 8/8/2022
 Any changes to these drawings must be approved by the Planning & Urban Design Division.
 Note: This Approval specifically pertains to Development Design Review only, relative to Overlay District Design Standards. This approval does NOT serve as an all-inclusive approval for the City of Tampa (all departments) as a whole.
 REVIEWED FOR CODE COMPLIANCE

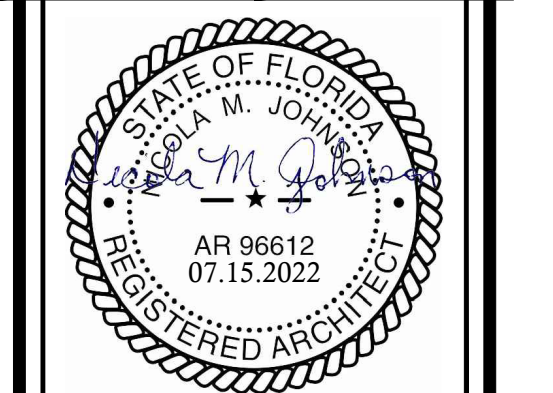


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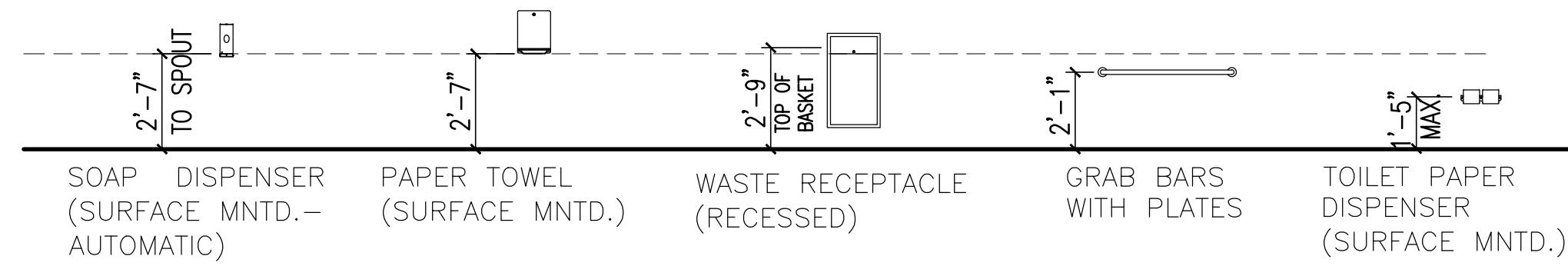
Rev.	Date	By	Remarks
1	06.08.2022	AR	PGC Response #1
2	07.15.2022	AR	PGC Response #2, #3, #4, #5, #6, #7, #8, #9, #10
3			It is unlawful to make changes or alterations without written approval of the Planning & Urban Design Division.
4			The stamping of this plan shall not be held to permit or approve the violation of any City or State Codes or Regulations.
5			TO THE BEST OF MY KNOWLEDGE, THESE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH THE 2017 FLORIDA BUILDING CODE 6th EDITION.
6			AR ARCONIAL ARCHITECTURE, LLC
7			1211 Tech Boulevard - Suite 134, Tampa, FL 33619
8			Phone: 813-291-2716 Fax: 813-283-0056
9			A226002694
10			COPYRIGHT ARCONIAL ARCHITECTURE, LLC. ALL RIGHTS RESERVED

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 1211 Tech Boulevard - Suite 134, Tampa, FL 33619
 Phone: 813-291-2716 Fax: 813-283-0056
 A226002694
 TO THE BEST OF MY KNOWLEDGE, THESE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH THE 2017 FLORIDA BUILDING CODE 6th EDITION.
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Proposed Renovation Exclusively For:
Kid Mason Community Center
 1101 N Jefferson Street
 Tampa, FL 33602
 City of Tampa



20-C00023 KID
 Plan Date: 07/15/2022
 Scale: 1/4" = 1'-0"
 Sheet: 16 OF 82
 Page: **A-3.3**

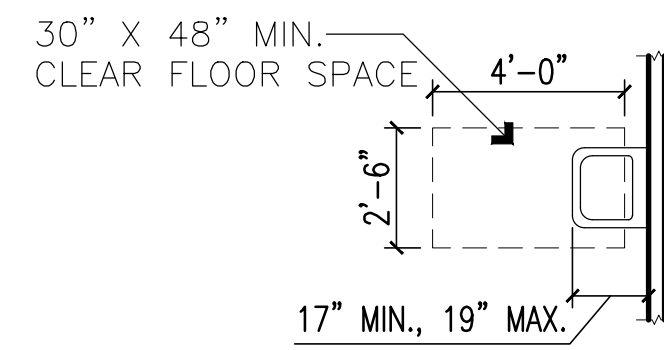


ACCESSORY MOUNTING HEIGHTS SCALE (AGE 5-8 & 9-12)

SCALE 1/4" = 1'-0"

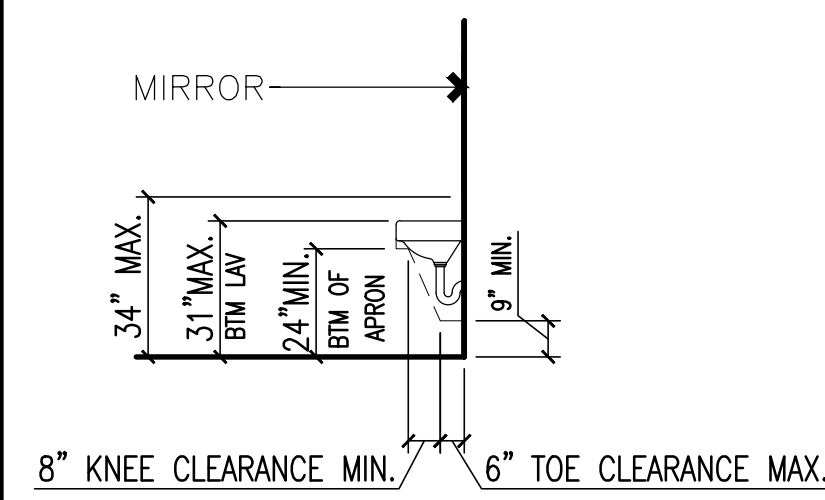


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Date: 2022.08.03
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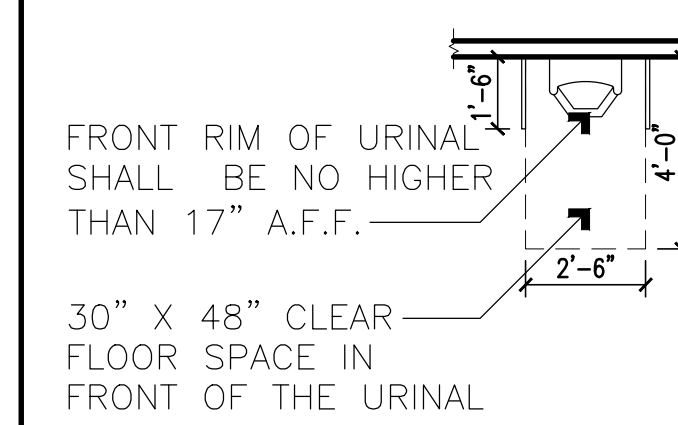


ACCESSIBLE LAVATORY PLAN

SCALE 1/4" = 1'-0"

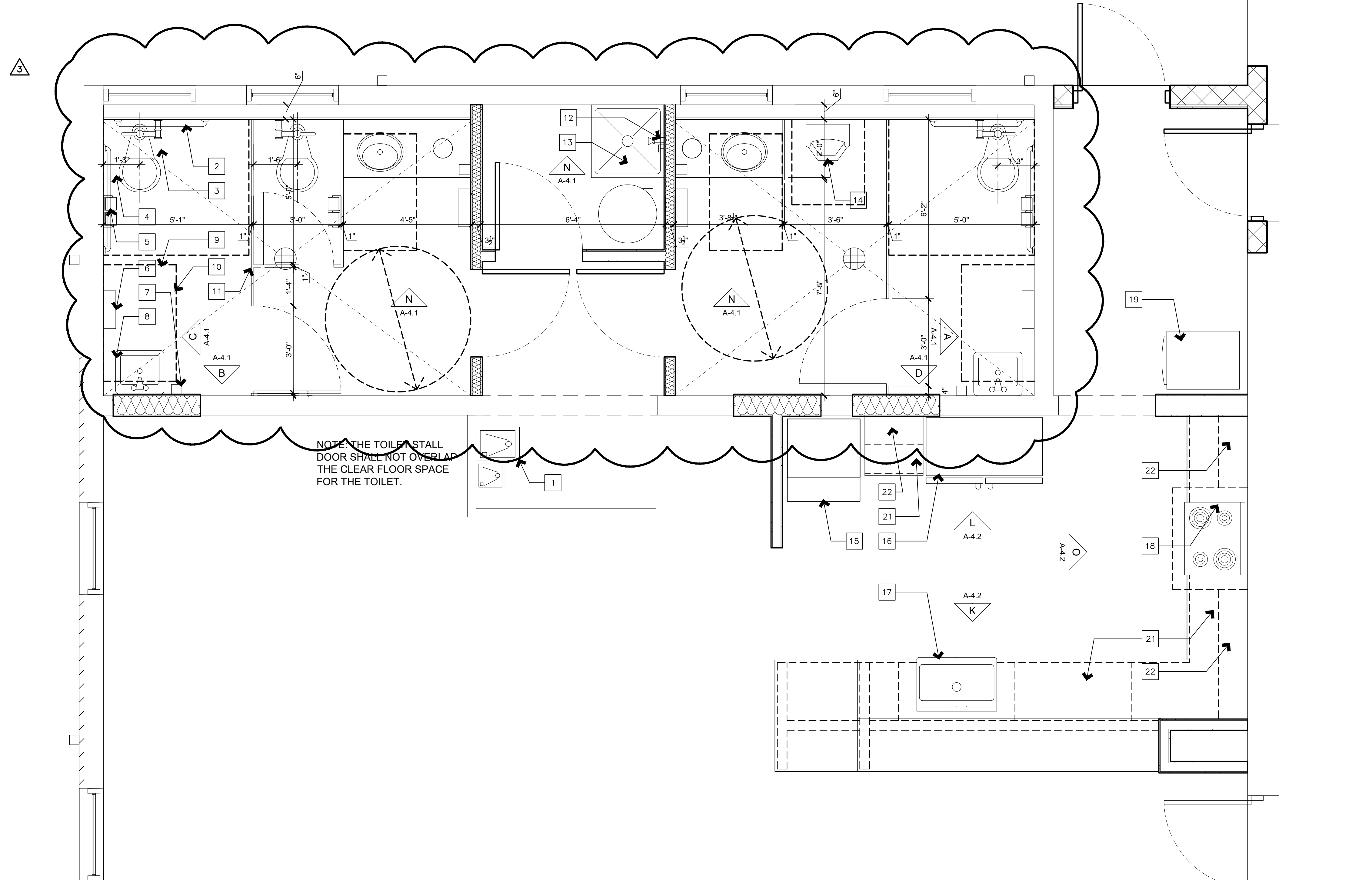


ACCESSIBLE LAVATORY PROFILE FOR AGE 5-12



ACCESSIBLE URINAL PLAN

SCALE 1/4" = 1'-0"



NOTE: THE TOILET STALL DOOR SHALL NOT OVERLAP THE CLEAR FLOOR SPACE FOR THE TOILET.

SHEET NOTES

1. TYPICAL ACCESSIBLE TOILET ROOMS AND STALLS SHOW MINIMUM DISTANCES AND SHOULD BE USED AS GUIDELINES ONLY. CONTRACTOR MUST USE DIMENSIONS ON PLANS. CONTACT ARCHITECT FOR DIMENSION DISCREPANCIES.
2. ALL EQUIPMENT SHOWN SHALL BE STAINLESS STEEL, SATIN FINISH, UNLESS NOTED OTHERWISE.
3. ALL EXPOSED PIPING AT LAVATORIES SHALL BE INSULATED WITH HANDI LAV-GUARD OR APPROVED EQUAL, WHITE.
4. ALL SINKS, TOILETS, AND URINALS ARE TO BE PER THE ACCESSIBLE DIAGRAMS ON SHEET A501.
5. CONTRACTOR SHALL PROVIDE APPROPRIATE STRUCTURAL BACKING (WITHIN THE WALLS) FOR ALL BATHROOM ACCESSORIES SHOWN.
6. PROVIDE LEVER TYPE HARDWARE ON ALL PERSONNEL DOORS AND SINKS.

ACCESSORIES LIST

1. WATER FOUNTAIN
2. GRAB BAR - 36" LONG
3. FLOOR MOUNTED TOILET
4. TOILET PAPER DISPENSER
5. GRAB BAR - 42" LONG
6. PAPER TOWEL DISPENSER
7. SOAP DISPENSER - ELECTRIC
8. HAND SINK - WALL MOUNTED
9. TOILET CLEARANCE AREA - 56" X 60"
10. LAVATORY CLEARANCE AREA - 30" X 48"
11. RESTROOM PARTITION
12. FAUCET - WALL MOUNTED
13. MOP SINK - FLOOR MOUNTED
14. URINAL - WALL MOUNTED
15. ICE MACHINE: SCOTTSMAN MODEL CO330MA-1, WITH B330P BIN (300LB), W/ 6" LEGS AND AQUA PATROL PLUS, MODEL AP1-P WATER FILTER
16. REFRIGERATOR - 36" WIDE AND COUNTER DEPTH
17. SINK - STAINLESS STEEL
18. RANGE - 36" WIDE WITH OVEN AND HOOD VENTED TO EXTERIOR
19. WASHER AND DRYER - STACKED
20. BABY CHANGING STATION
21. BASE CABINET
22. UPPER CABINET

1 Enlarged Floor Plan -Group Bathroom & Kitchen

scale 1/2" = 1'-0"

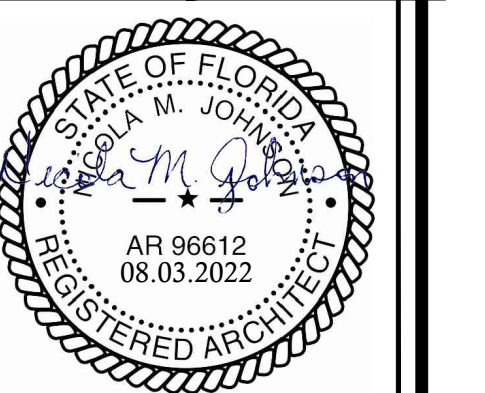
Rev.	Date	By	Remarks
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2	07.15.2022	AR	FOR PERMIT
3	08.03.2022	AR	FOR PERMIT
4			
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6			
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10			

AR ARCONIAL ARCHITECTURE, LLC
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Phone: 813-291-2716
Fax: 813-283-0056
A226002694
AR 96612
08.03.2022

TO THE BEST OF MY KNOWLEDGE, THESE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH THE 2017 FLORIDA BUILDING CODE 6th EDITION.

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City of Tampa



20-C00023 KID
Plan Date: 08/03/2022
Scale: 1/4" = 1'-0"
Sheet: 17 OF 82
Page: **A-4.0**

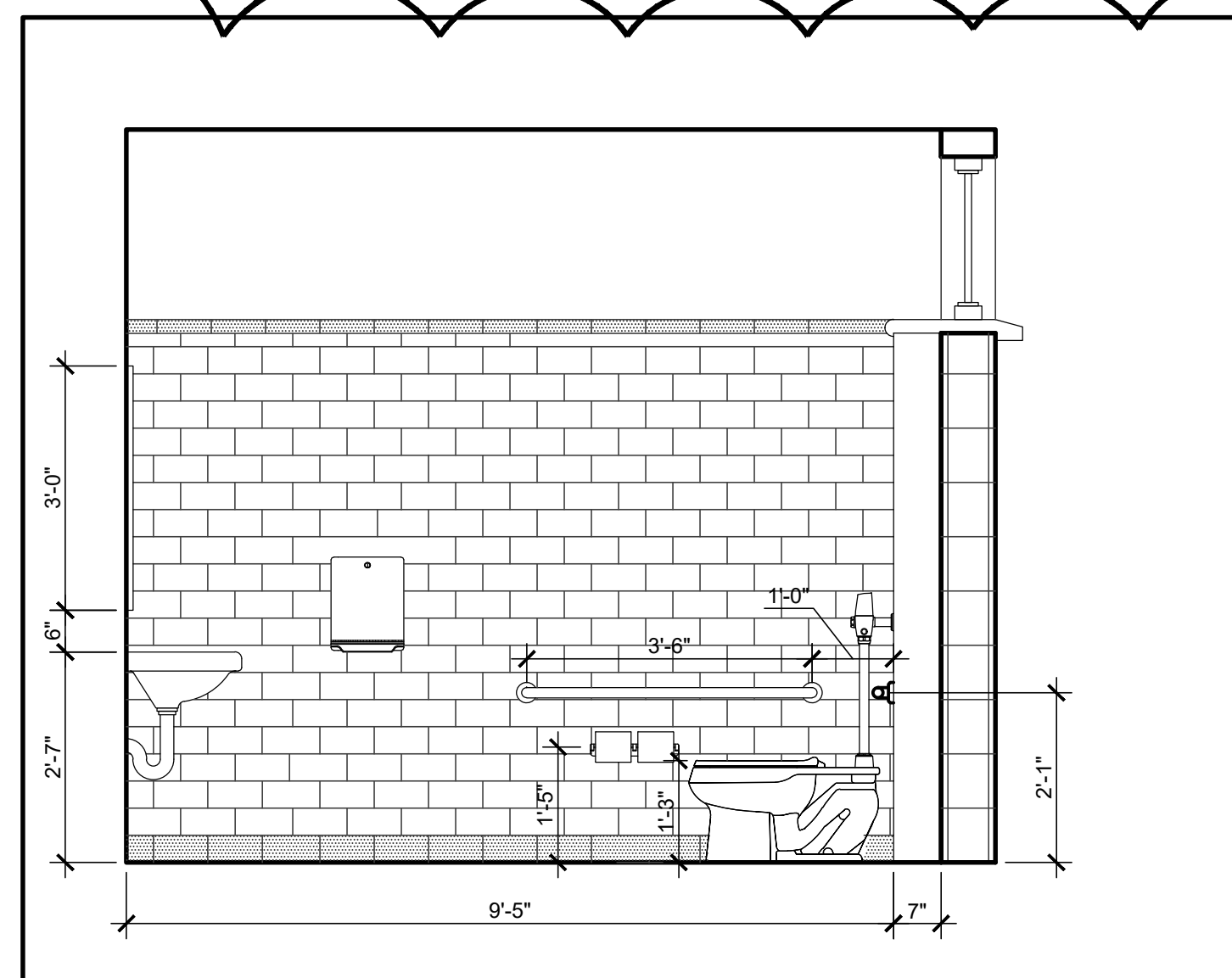
Rev.	Date	By	Remarks
1	06.08.2022	PGC	PGC Response #1
2	07.15.2022	PGC	PGC Response #2
3			It is unlawful to make changes or alterations without written approval of the City of Tampa.
4			Changes to this plan shall not be made without written approval of the City of Tampa.
5			The stamping of this plan shall not be held to permit or approve the violation of any City or State Codes.
6			APPLICABLE MINIMUM BUILDING CODES AND APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH THE 2017 FLORIDA BUILDING CODE 6th EDITION.
7			
8			
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City of Tampa
CONSTRUCTION SERVICES DIVISION

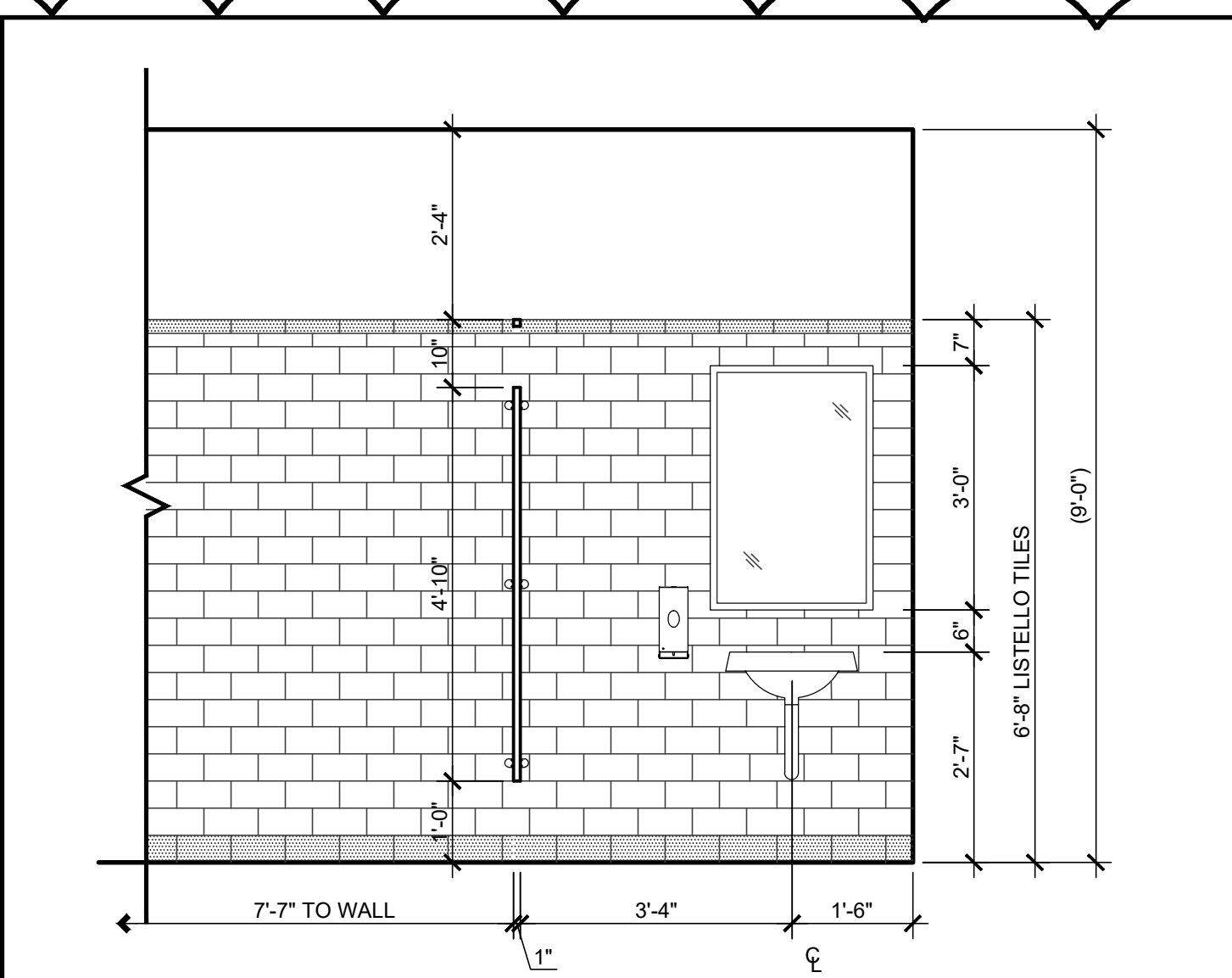
ARCONIAL ARCHITECTURE, LLC
1211 Tech Boulevard - Suite 134, Tampa, FL 33619
Phone: 813-291-2916
Fax: 813-283-0056
A22002694

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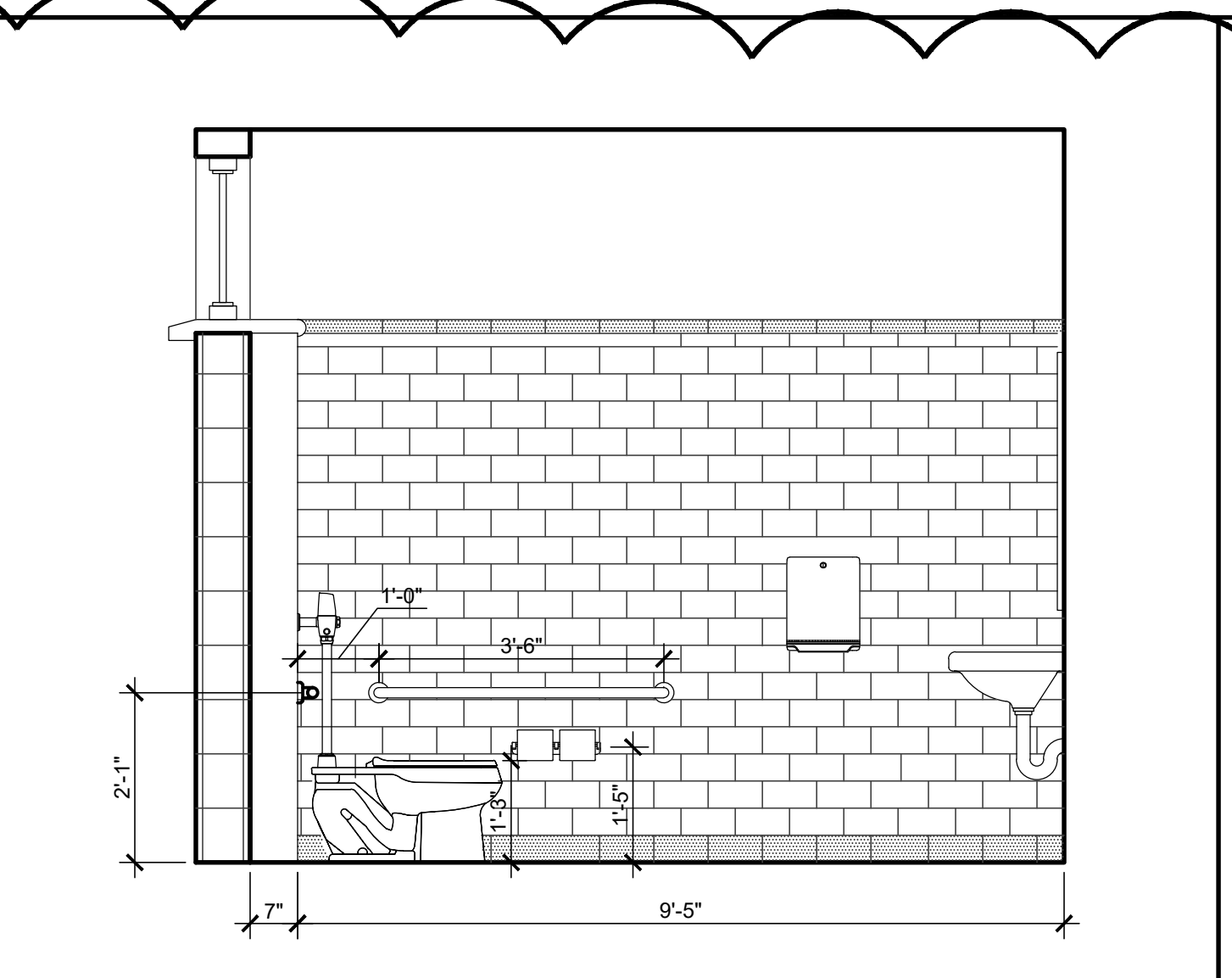
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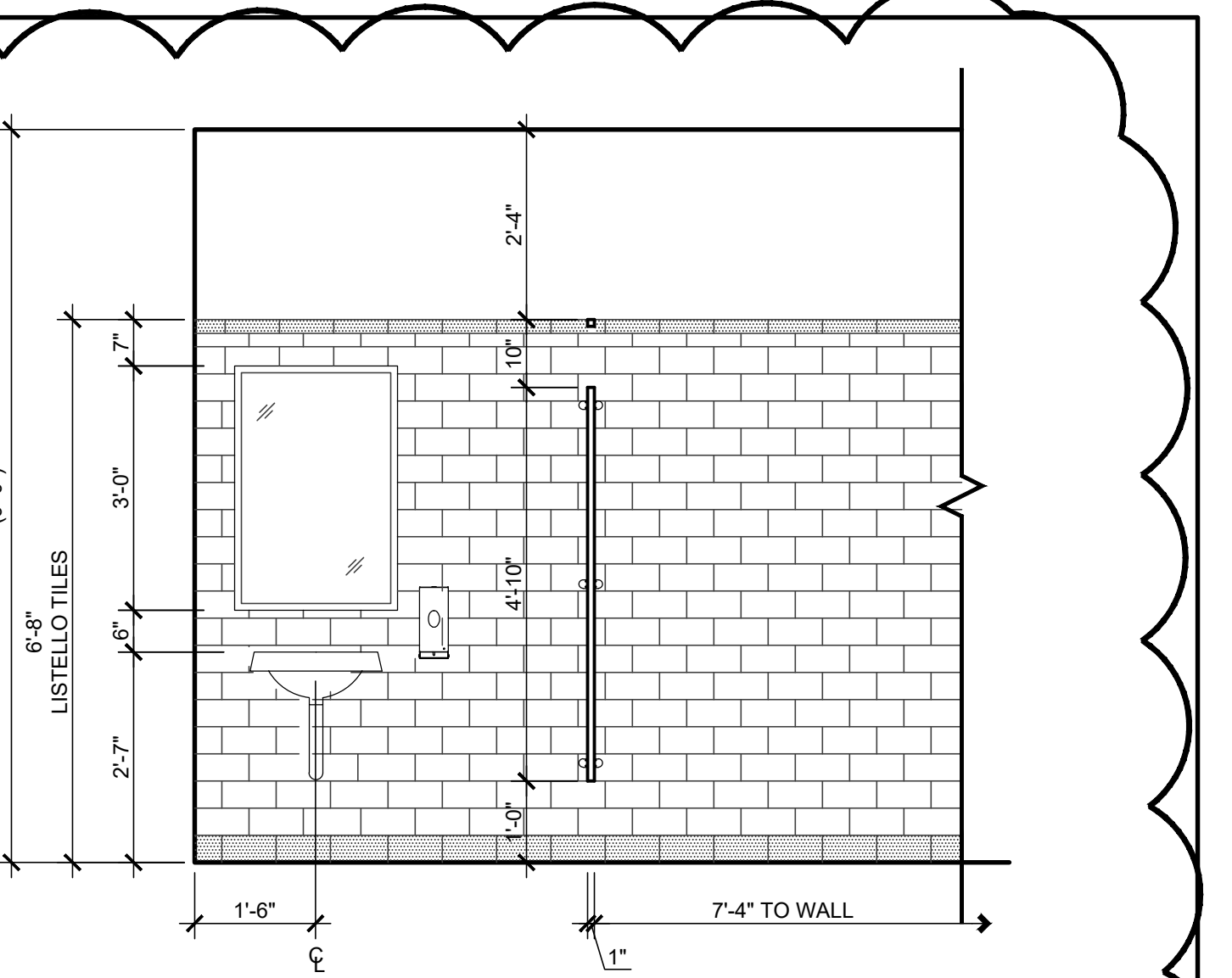
A Restroom 105 scale 1/2" = 1'-0"



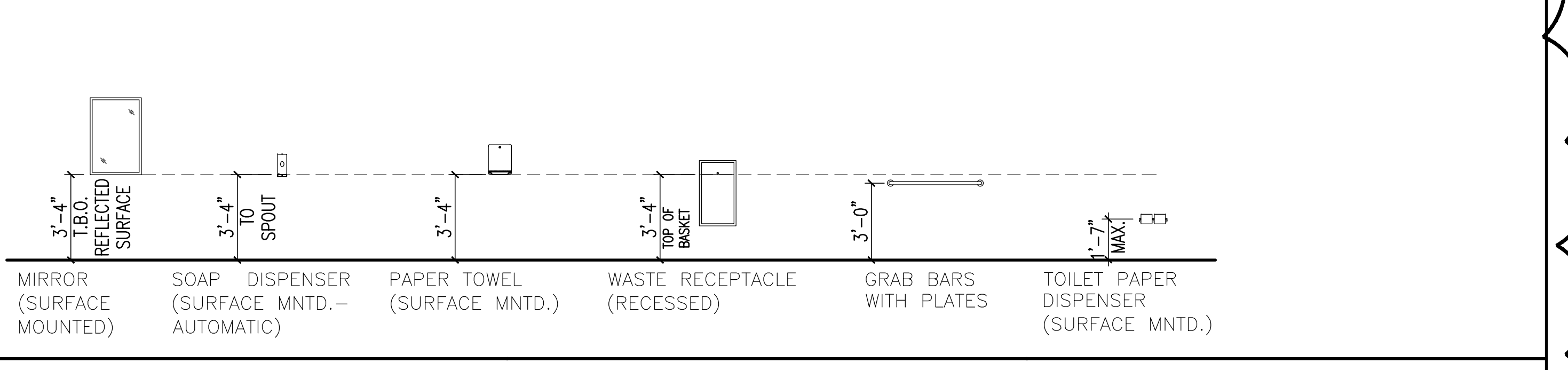
B Restroom 105 scale 1/2" = 1'-0"



C Restroom 106 scale 1/2" = 1'-0"



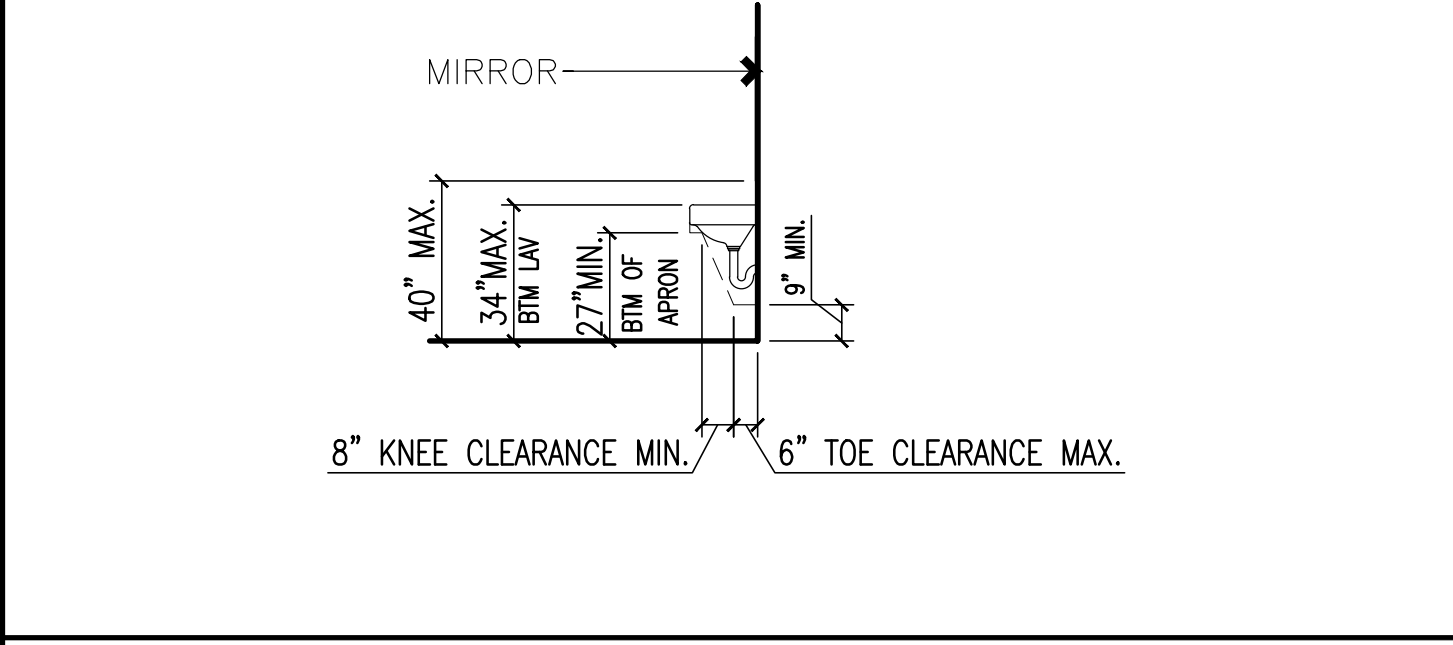
D Restroom 106 scale 1/2" = 1'-0"



ACCESSORY MOUNTING HEIGHTS SCALE (AGE 12 & UP) SCALE 1/4" = 1'-0"

- | | | |
|--------------------------------------|---|--|
| 1. WATER FOUNTAIN | 10. LAVATORY CLEARANCE AREA - 30" X 48" | 18. RANGE - 36" WIDE WITH OVEN AND HOOD VENTED TO EXTERIOR |
| 2. GRAB BAR - 36" LONG | 11. RESTROOM PARTITION | 19. WASHER AND DRYER - STACKED |
| 3. FLOOR MOUNTED TOILET | 12. FAUCET - WALL MOUNTED | 20. BULKHEAD - SEE REFLECTED CEILING PLAN FOR HEIGHT |
| 4. TOILET PAPER DISPENSER | 13. MOP SINK - FLOOR MOUNTED | 21. BABY CHANGING STATION |
| 5. GRAB BAR - 42" LONG | 14. URINAL - WALL MOUNTED | |
| 6. PAPER TOWEL DISPENSER | 15. ICE MACHINE | |
| 7. SOAP DISPENSER - ELECTRIC | 16. REFRIGERATOR - 36" WIDE AND COUNTER DEPTH | |
| 8. HAND SINK - WALL MOUNTED | 17. SINK - STAINLESS STEEL | |
| 9. TOILET CLEARANCE AREA - 56" X 60" | | |

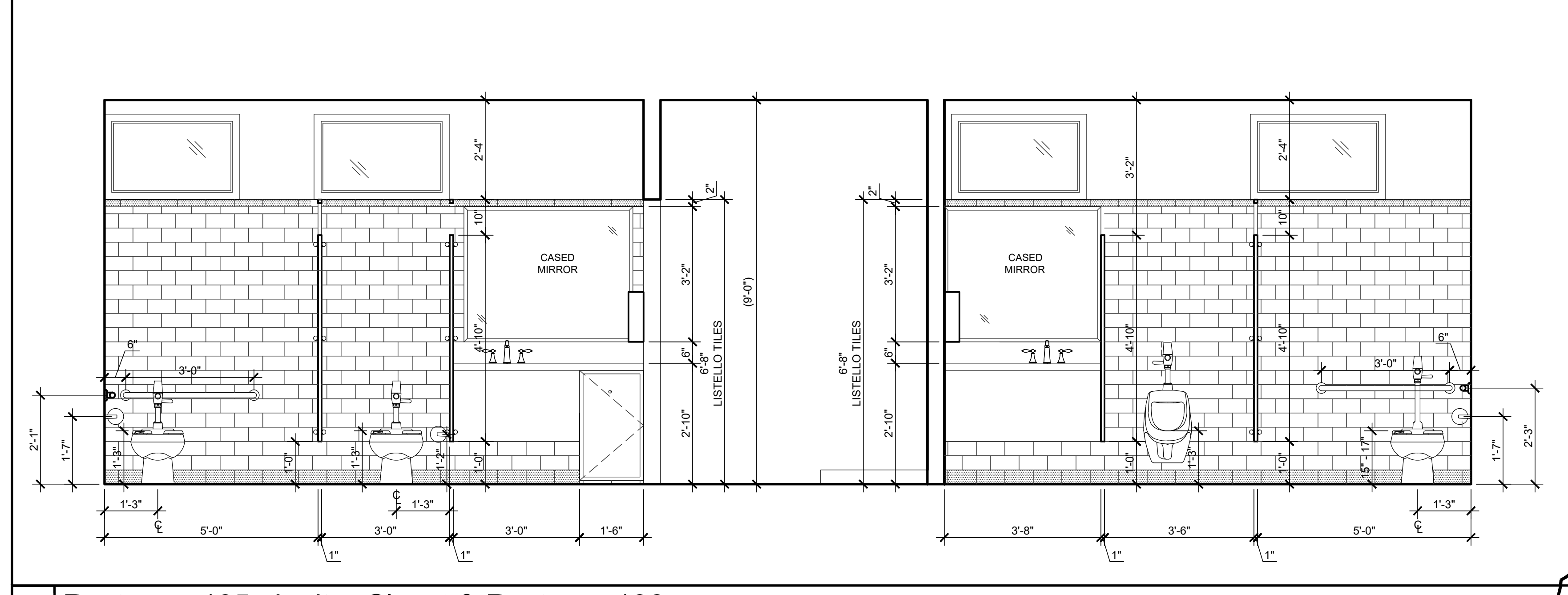
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Date: 2022.07.15
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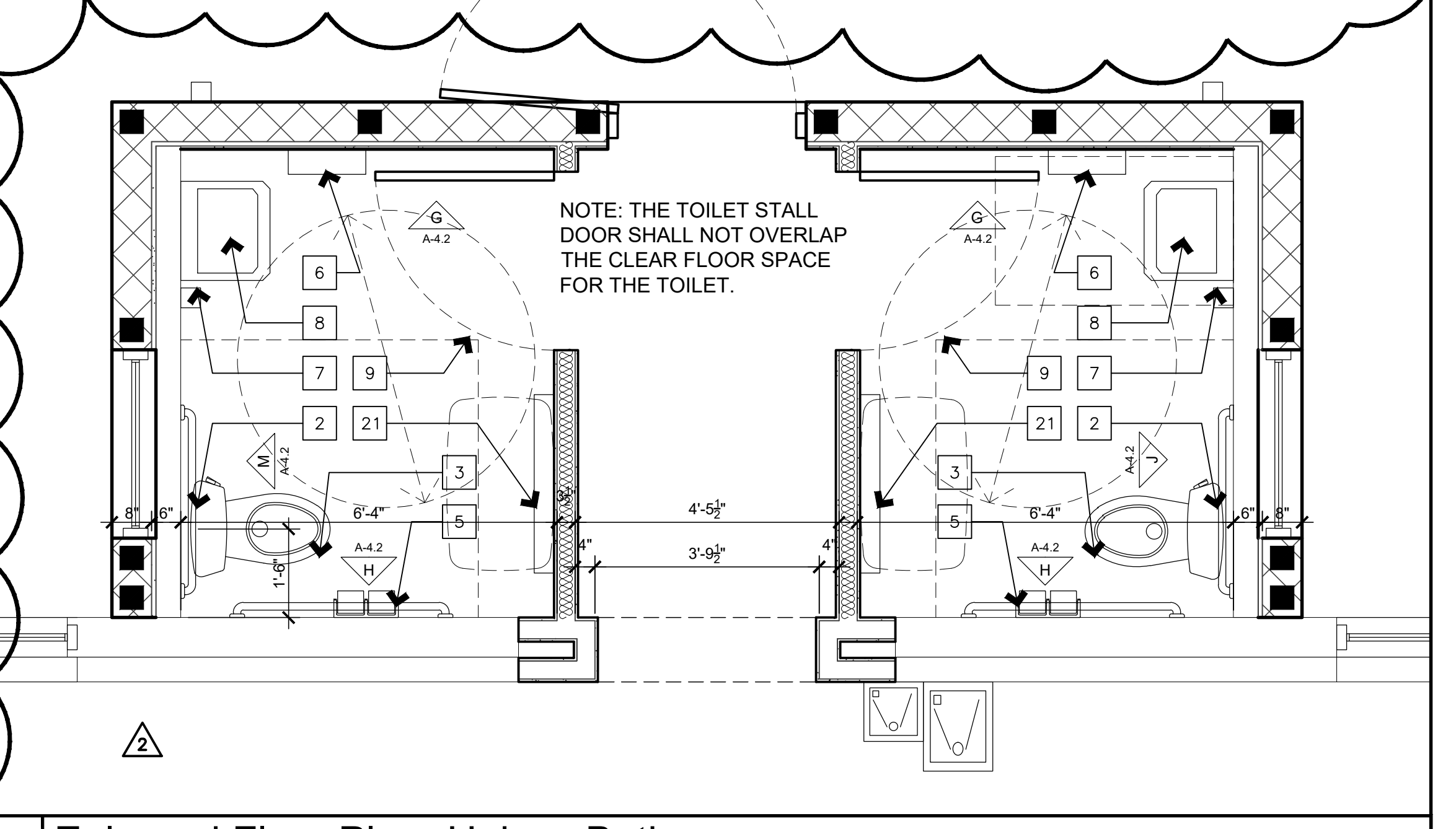
E NOT USED

ACCESSIBLE LAVATORY PROFILE FOR AGE 12 & UP

ACCESSORIES LIST



N Restroom 105, Janitor Closet & Restroom 106 scale 1/2" = 1'-0"



2 Enlarged Floor Plan -Unisex Bathrooms scale 1/2" = 1'-0"

Proposed Renovation Exclusively For:

Kid Mason Community Center
1101 N Jefferson Street
Tampa, FL 33602
City of Tampa

STATE OF FLORIDA
NICOLA M. JOHNSON
AR 96612
07.15.2022
REGISTERED ARCHITECT

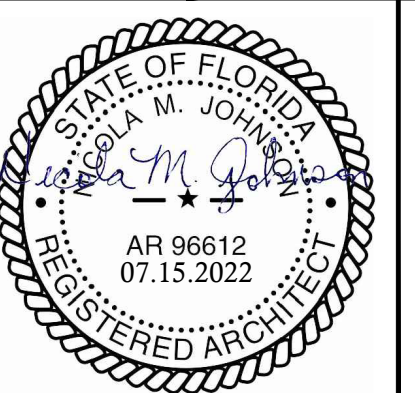
20-C00023 KID

Plan Date: 07/15/2022
Scale: 1/4" = 1'-0"
Sheet: 18 OF 82
Page: **A-4.1**

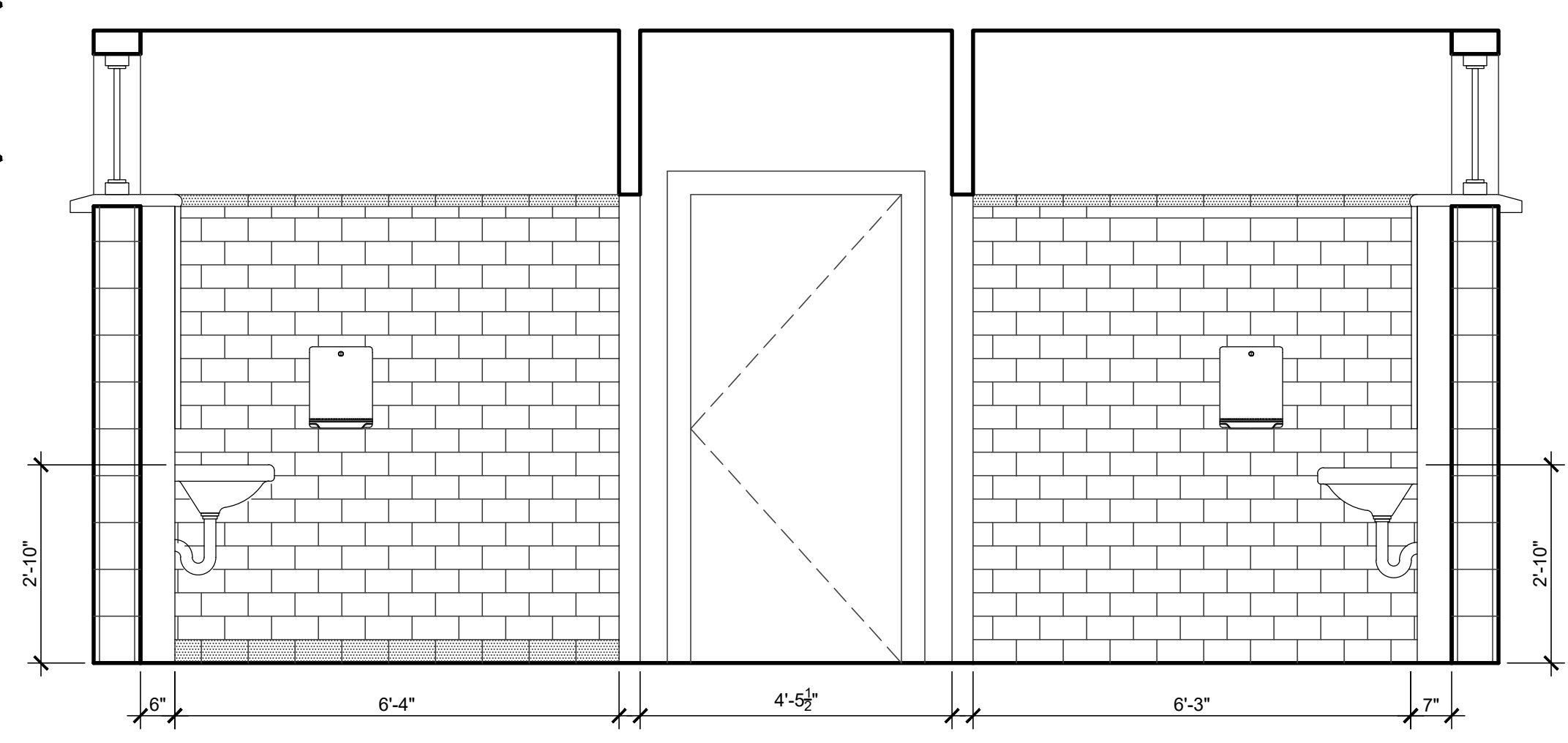
Rev.	Date	By	Remarks
1	06.08.2022	AR	FOR PERMITS
2	07.15.2022	AR	FOR PERMITS
3			IT IS UNLAWFUL TO MAKE CHANGES OR ALTERATIONS WITHOUT WRITTEN APPROVAL OF THE ARCHITECT.
4			THESE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH THE 2017 FLORIDA BUILDING CODE 6TH EDITION.
5			
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 1211 Tech Boulevard - Suite 134, Tampa, FL 33619
 Phone: 813-291-2916 Fax: 813-283-0056
 AA26002694
 TO THE BEST OF MY KNOWLEDGE, THESE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH THE 2017 FLORIDA BUILDING CODE 6TH EDITION.
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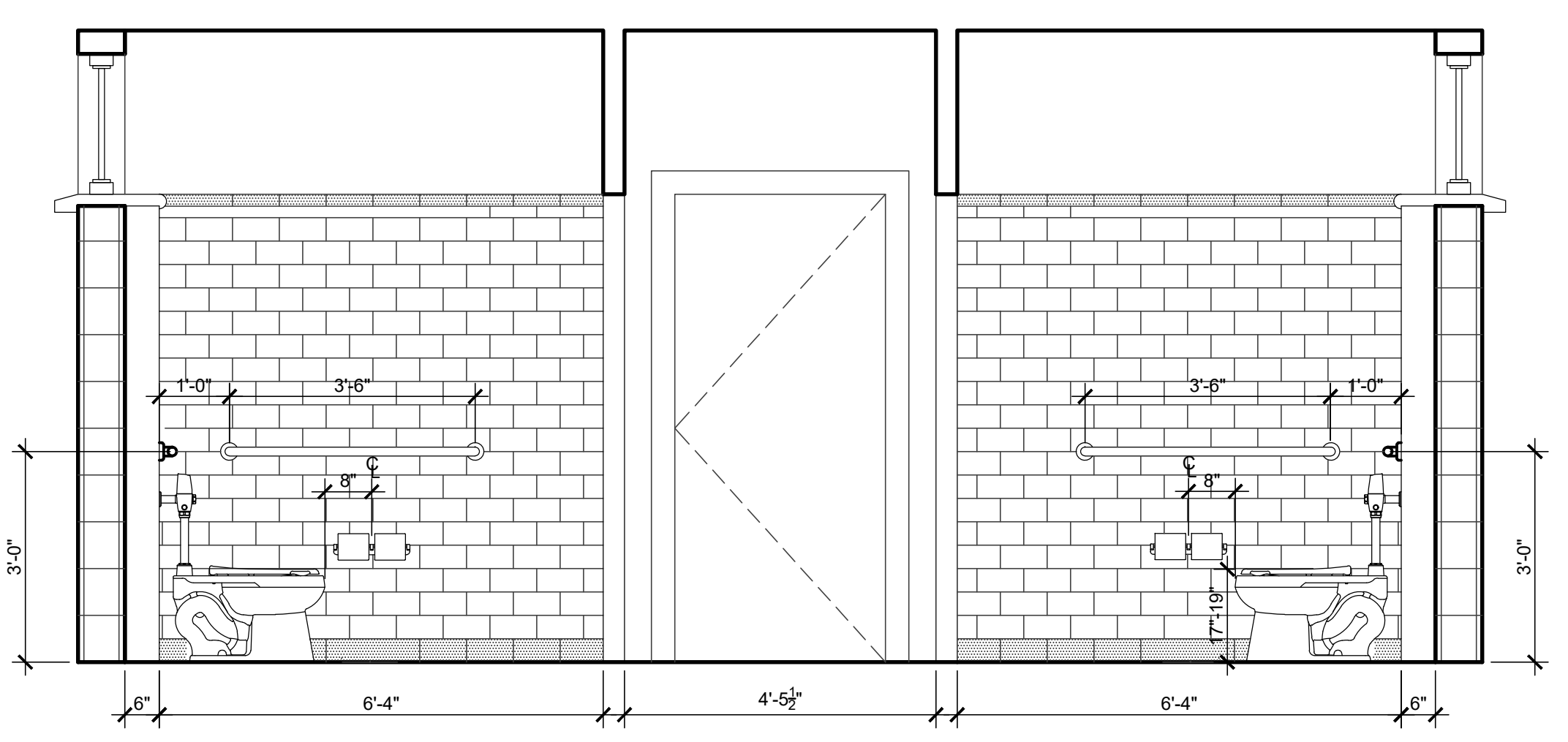
Proposed Renovation Exclusively For:
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 Tampa, FL 33602
 City of Tampa



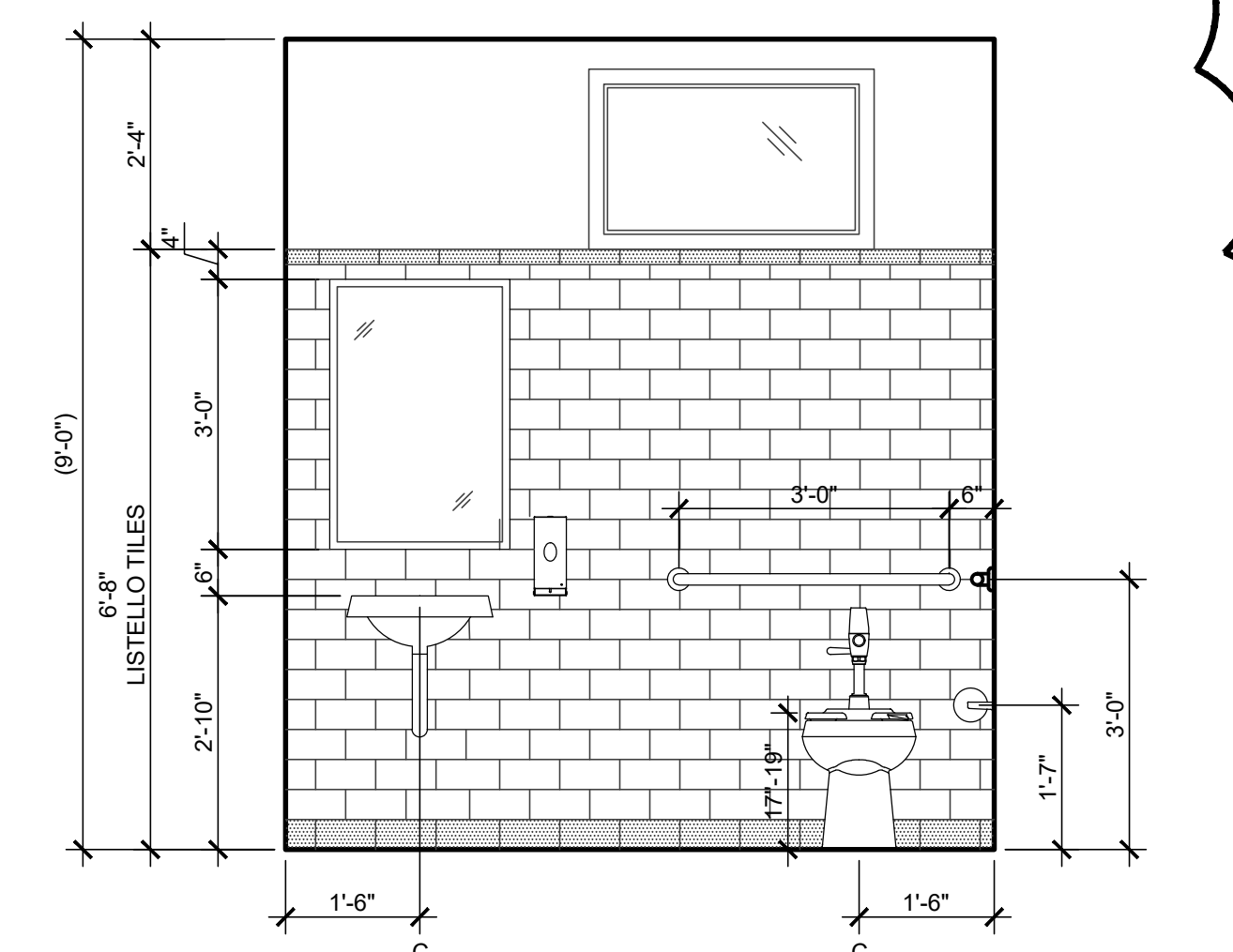
20-C00023 KID
 Plan Date: 07/15/2022
 Scale: 1/4" = 1'-0"
 Sheet: 19 OF 82
 Page: **A-4.2**



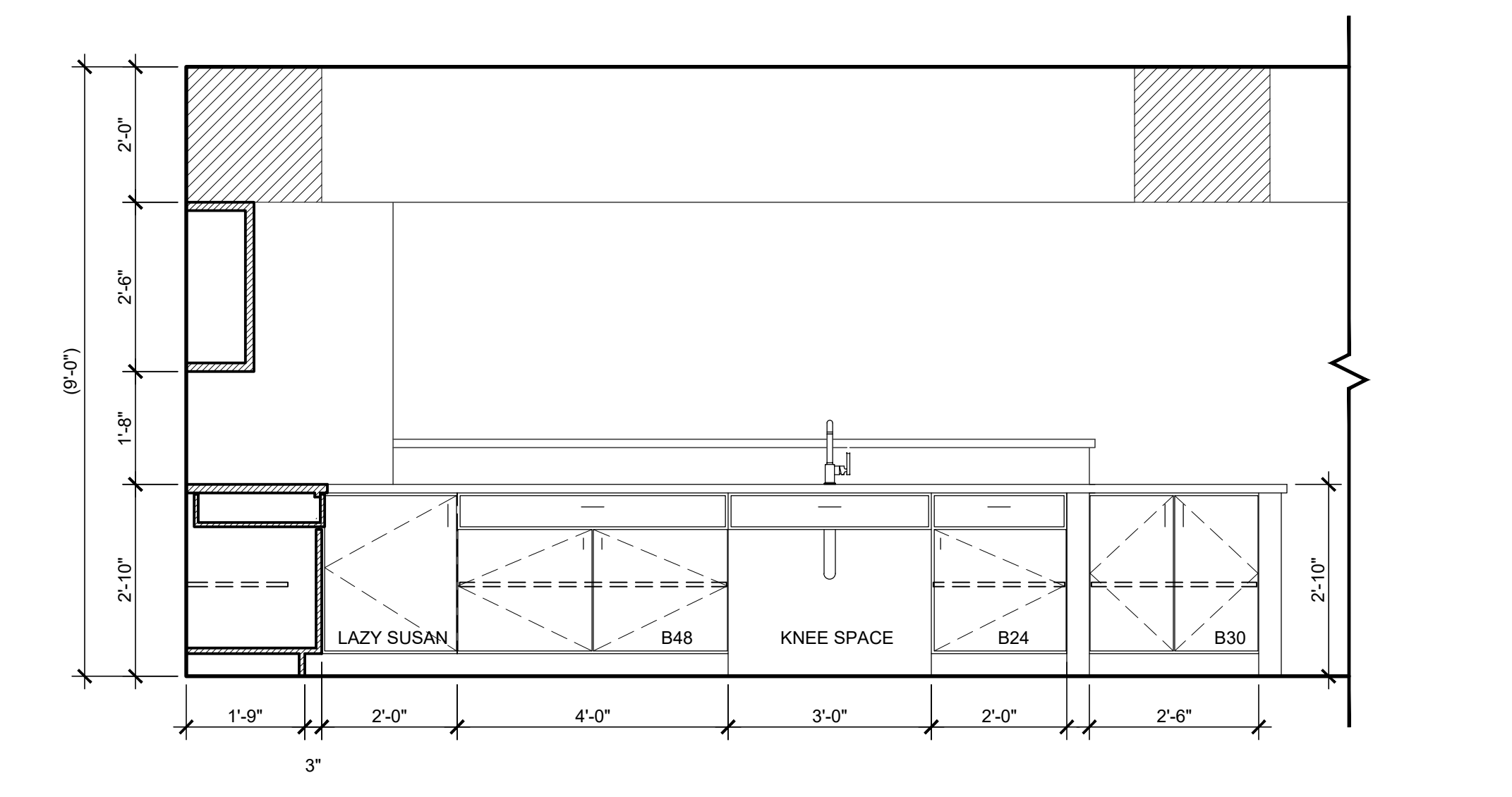
G Unisex Restroom 113A & 113B scale 1/2" = 1'-0"



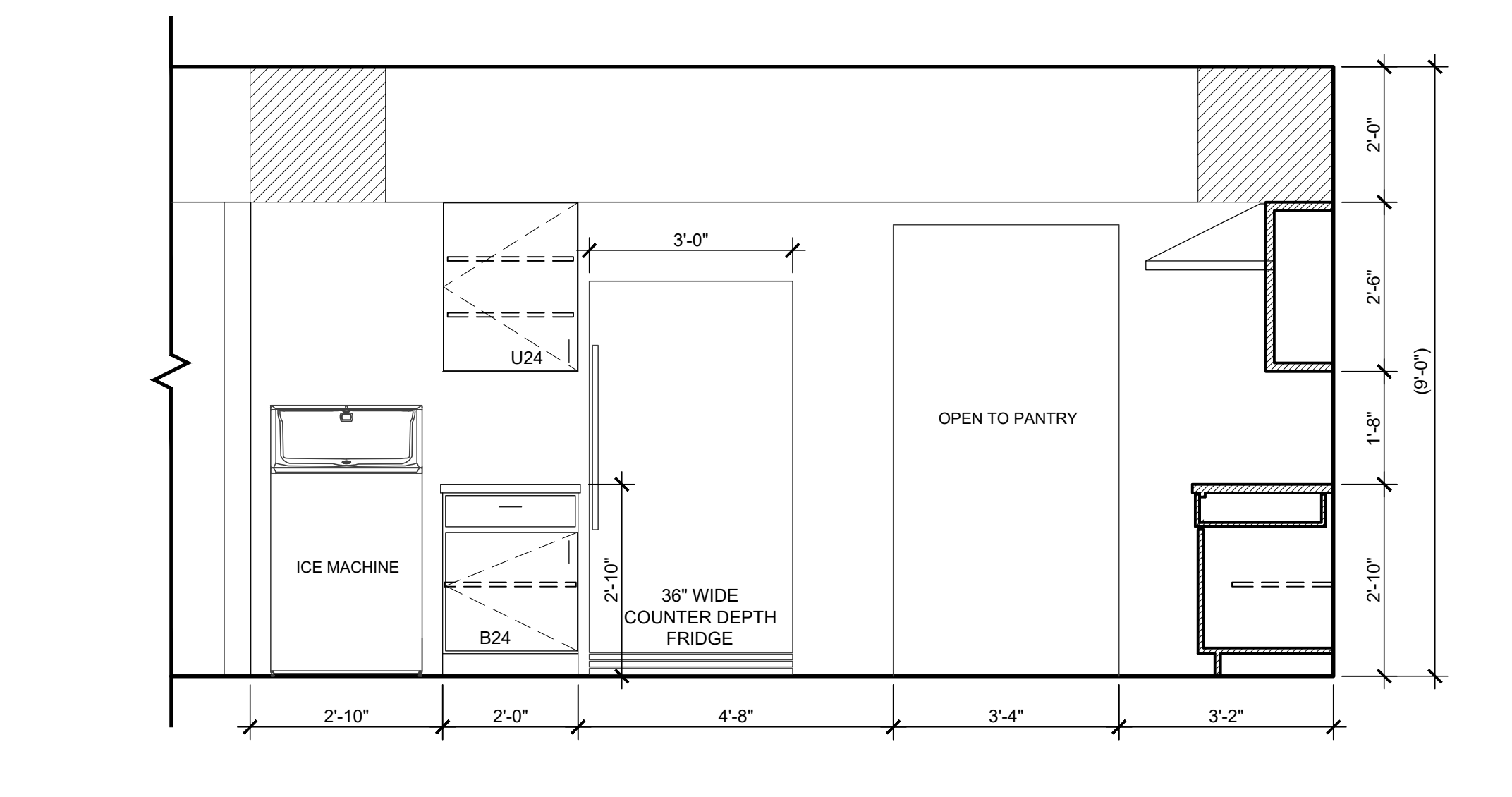
H Unisex Restroom 113A & 113B scale 1/2" = 1'-0"



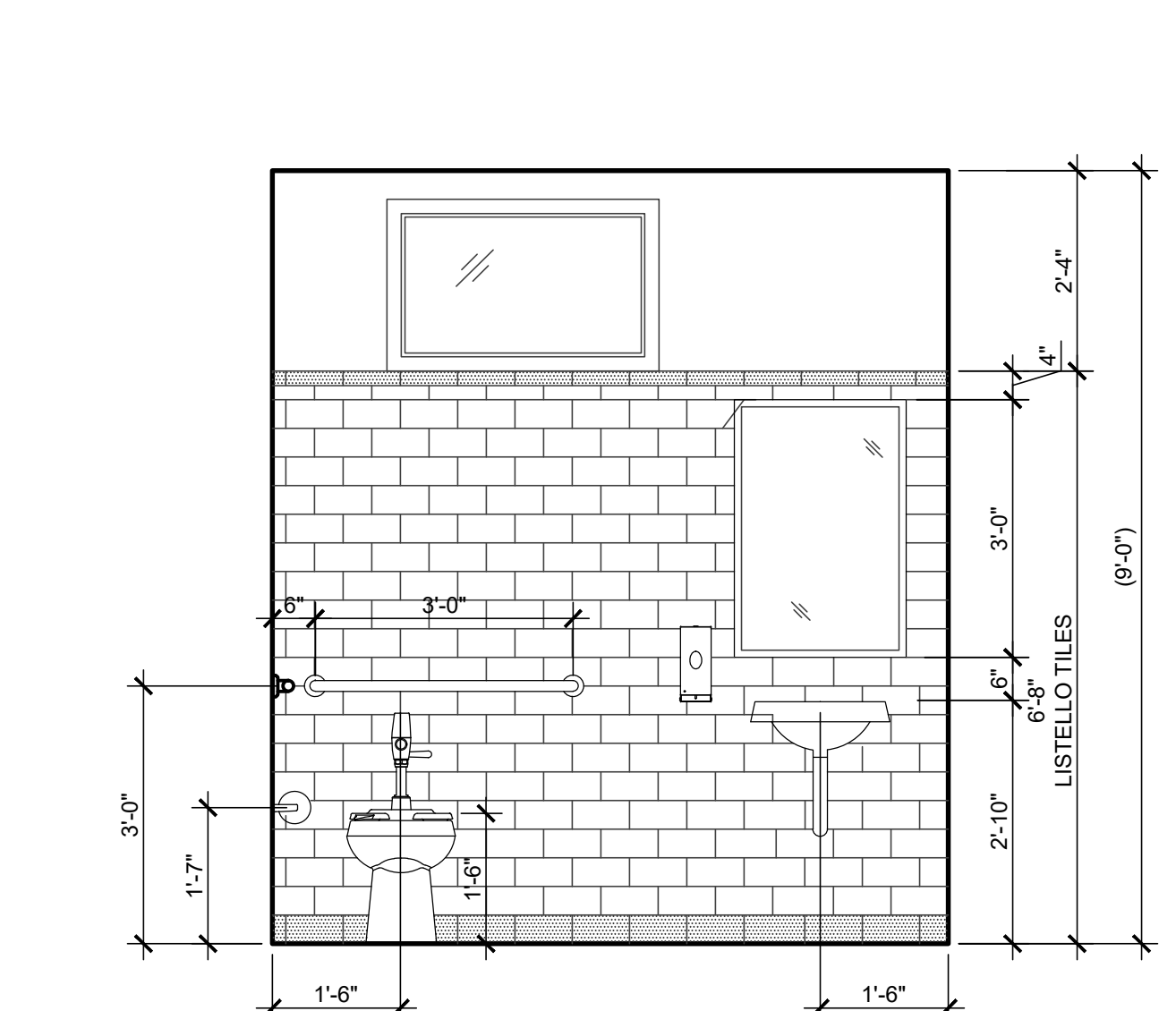
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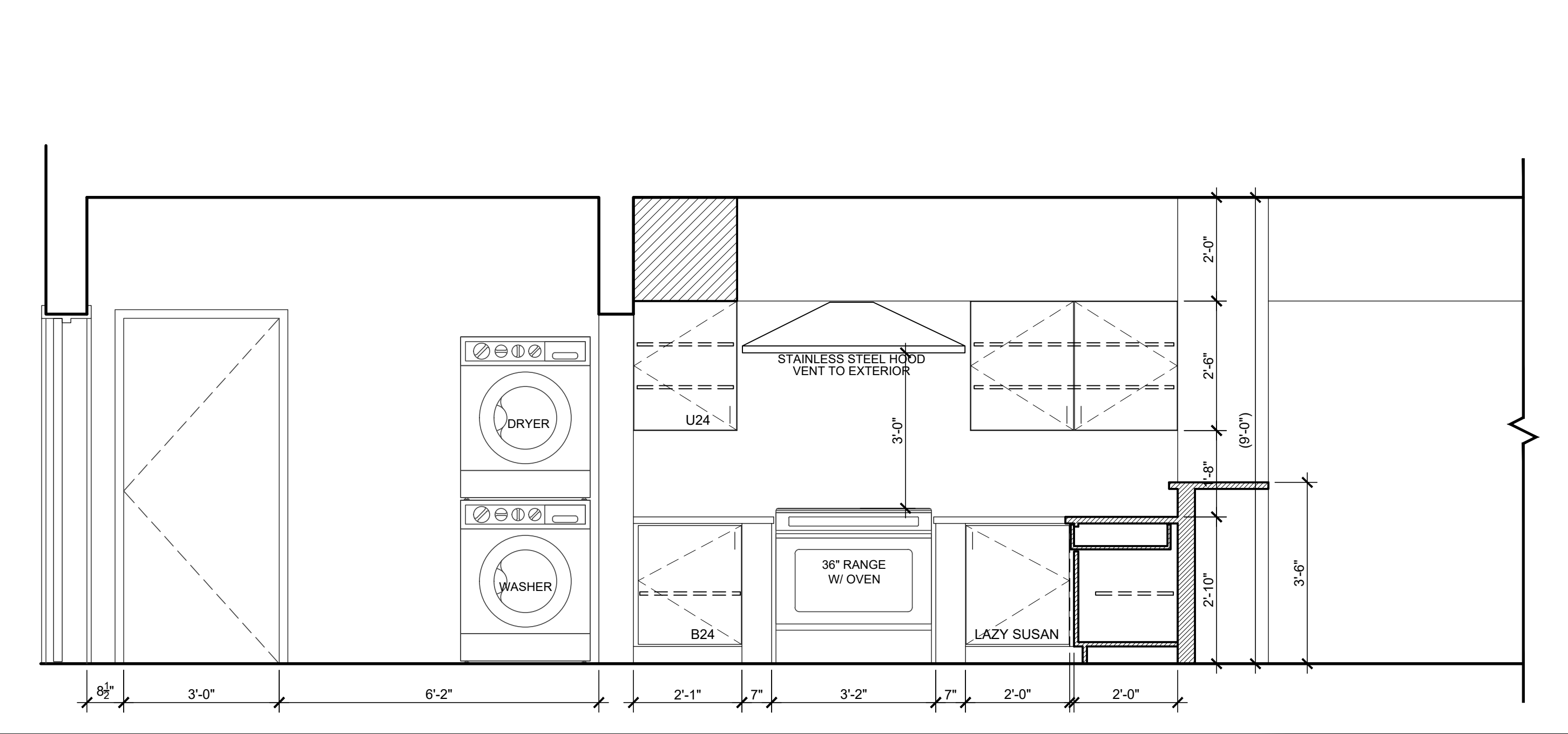
K Kitchen scale 1/2" = 1'-0"



L Kitchen scale 1/2" = 1'-0"



M Unisex Bathroom 113B scale 1/2" = 1'-0"



O Kitchen & Pantry scale 1/2" = 1'-0"

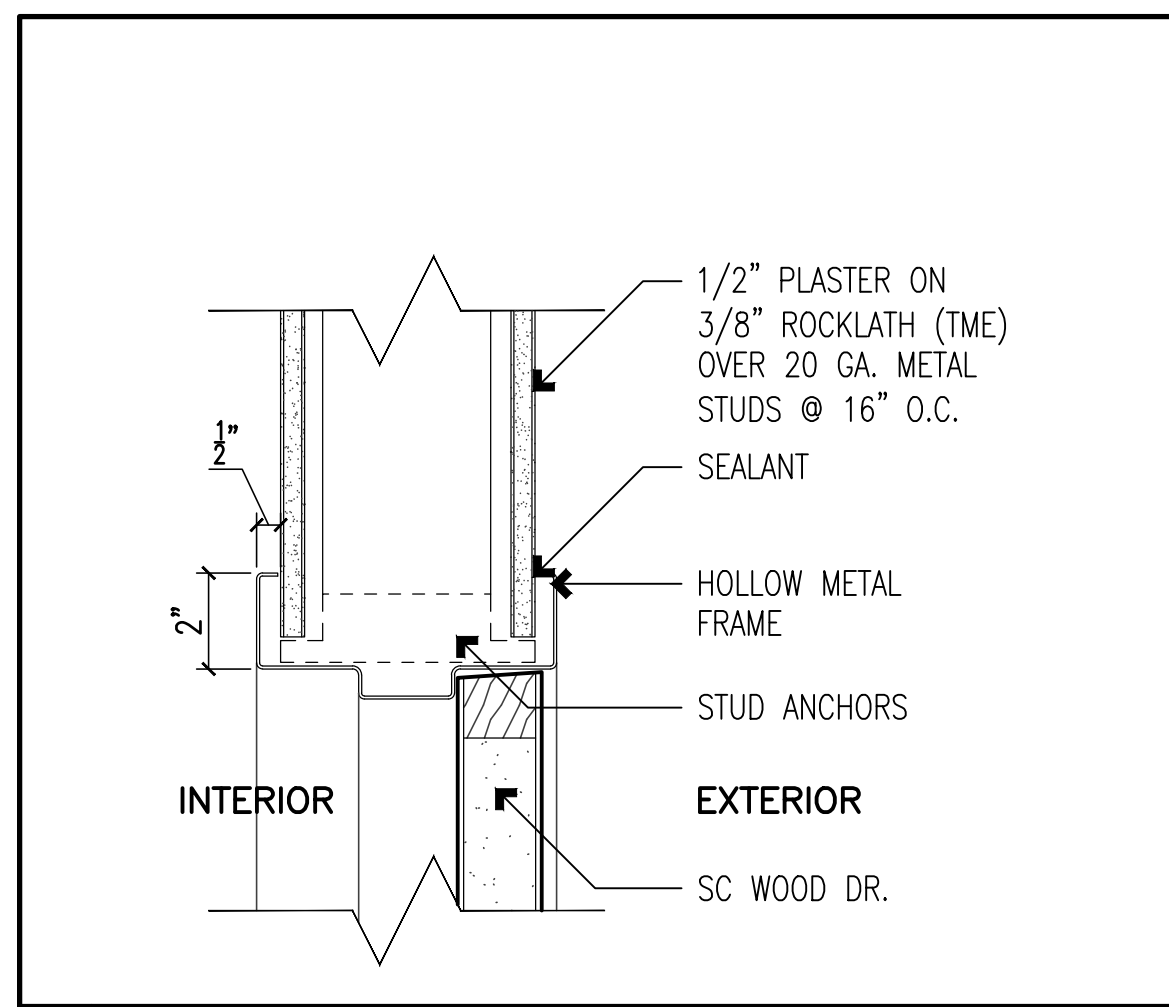
ACCESSORIES LIST

1. WATER FOUNTAIN	18. RANGE - 36" WIDE WITH OVEN AND HOOD VENTED TO EXTERIOR
2. GRAB BAR - 36" LONG	19. WASHER AND DRYER - STACKED
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13. MOP SINK - FLOOR MOUNTED	
14. URINAL - WALL MOUNTED	
15. ICE MACHINE	
16. REFRIGERATOR - 36" WIDE AND COUNTER DEPTH	
17. SINK - STAINLESS STEEL	

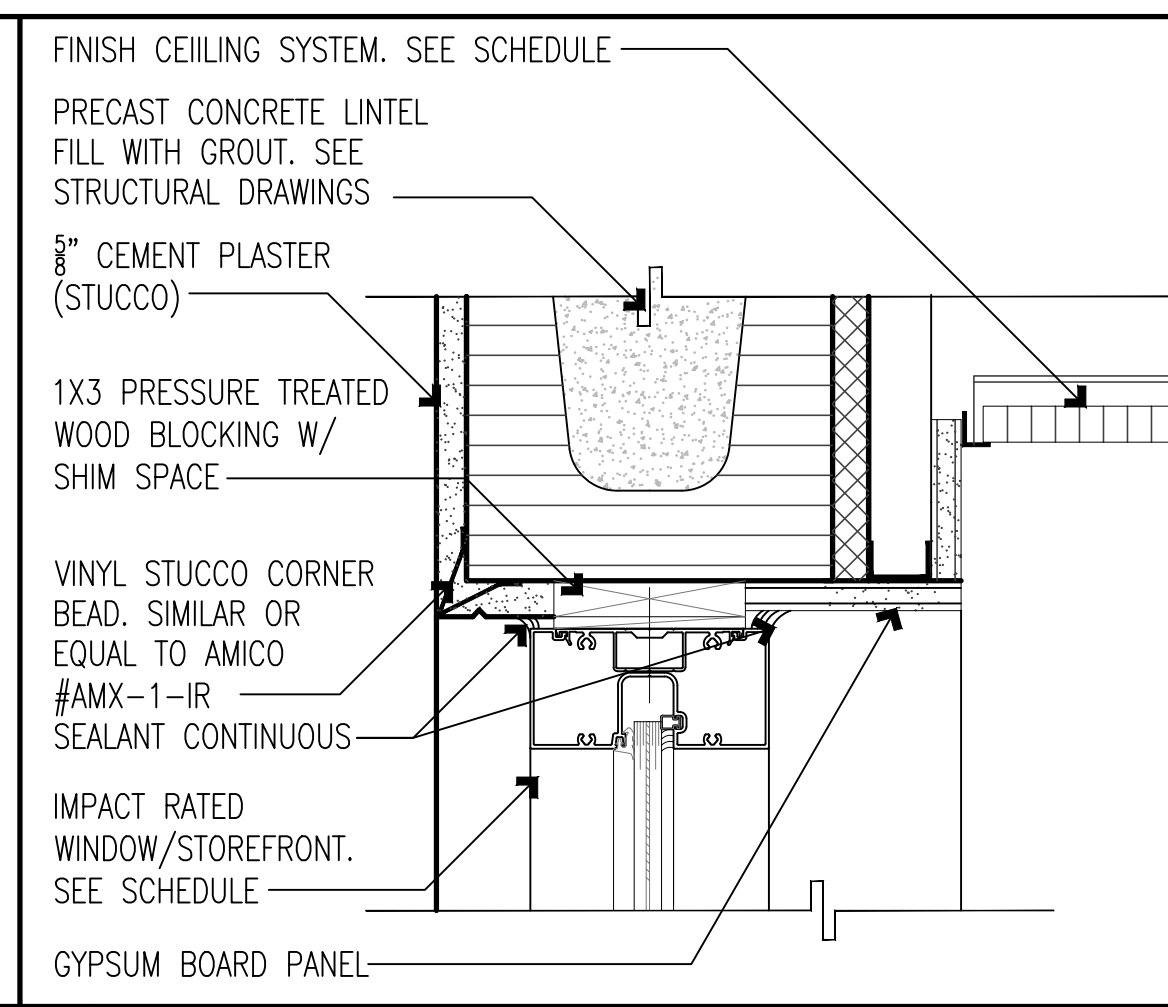
1. DESIGN LOADS AND NOTES

1.1. HANDRAIL AND GUARDS:	50 PER LINEAR FOOT
1.2. HANDRAIL AND GUARDS CONCENTRATED LOAD:	200 LBS
1.3. GRAB BAR CONCENTRATED LOAD:	250 LBS

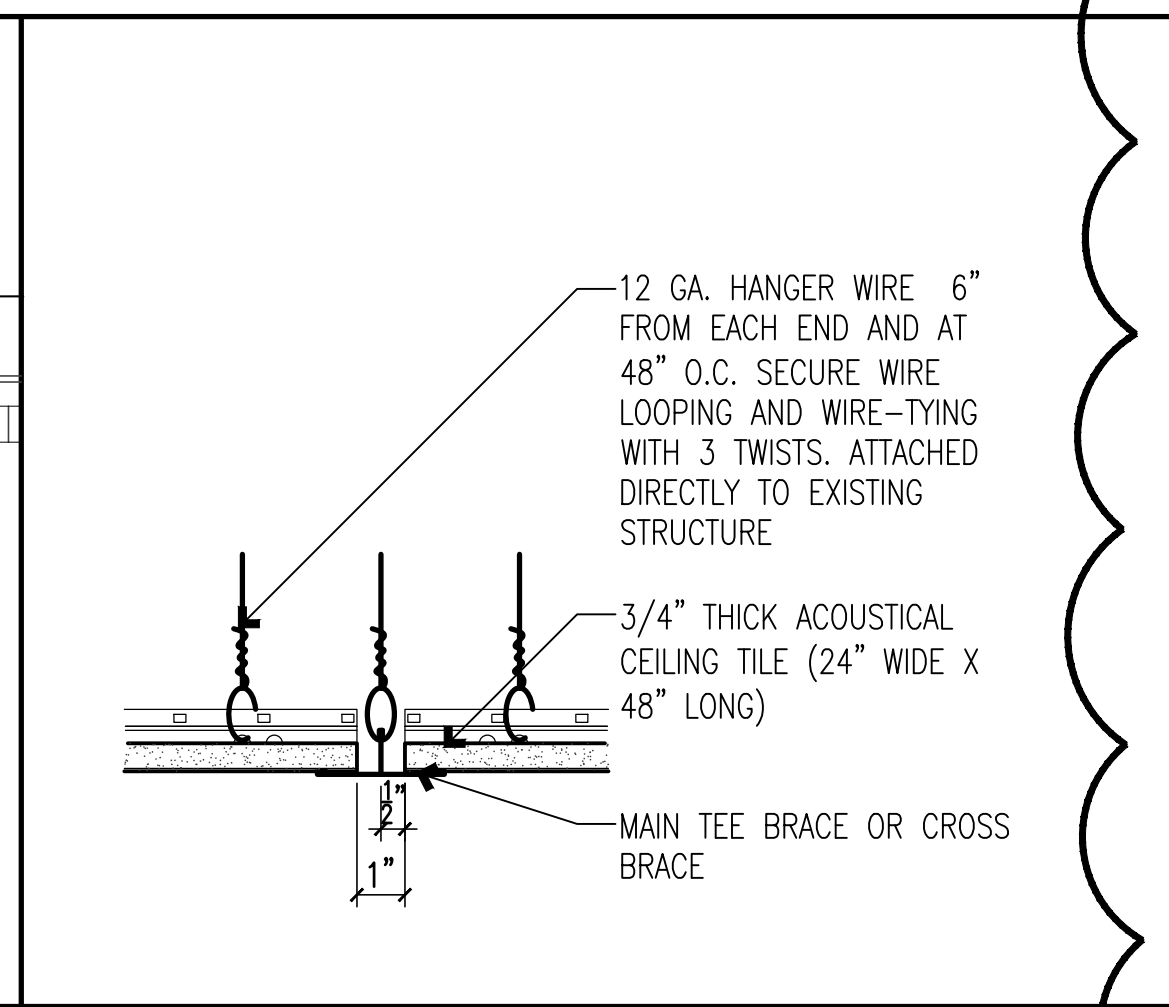
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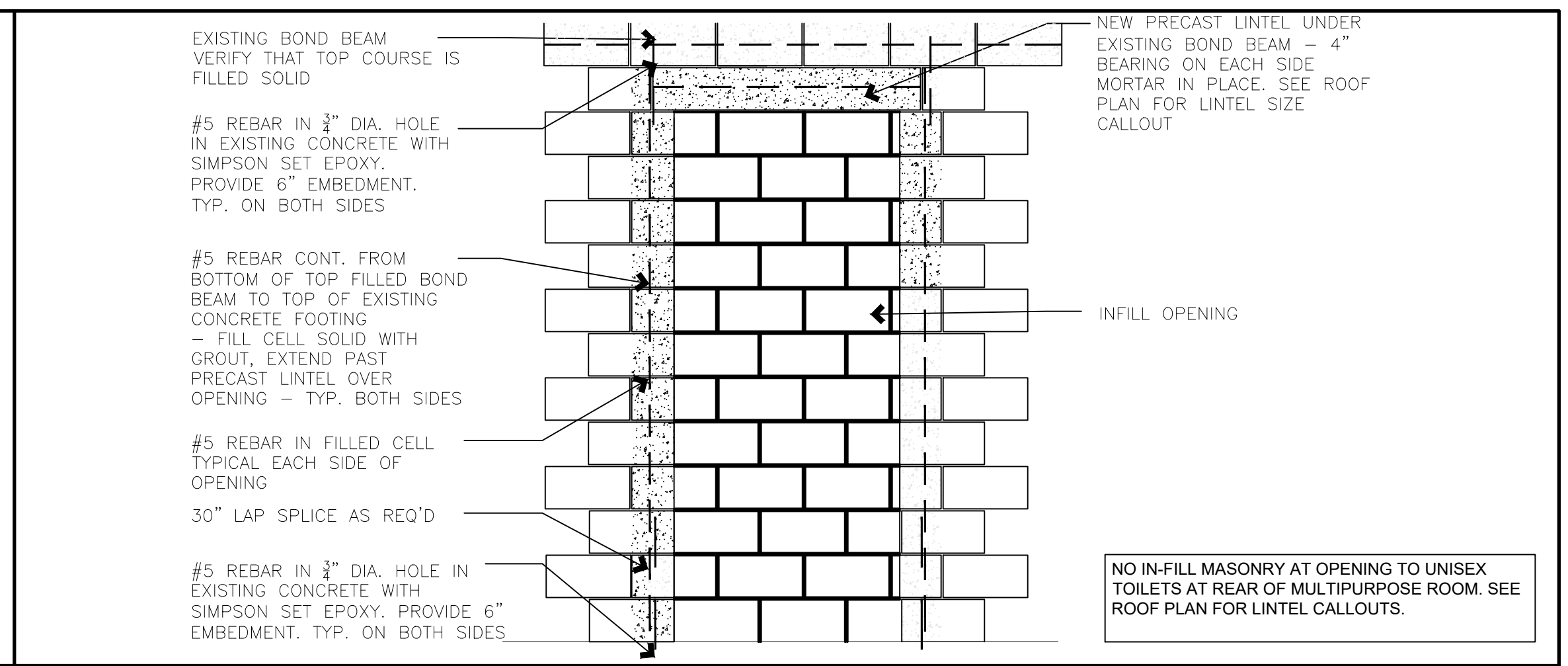
A | HEAD SCALE 3" = 1'-0"



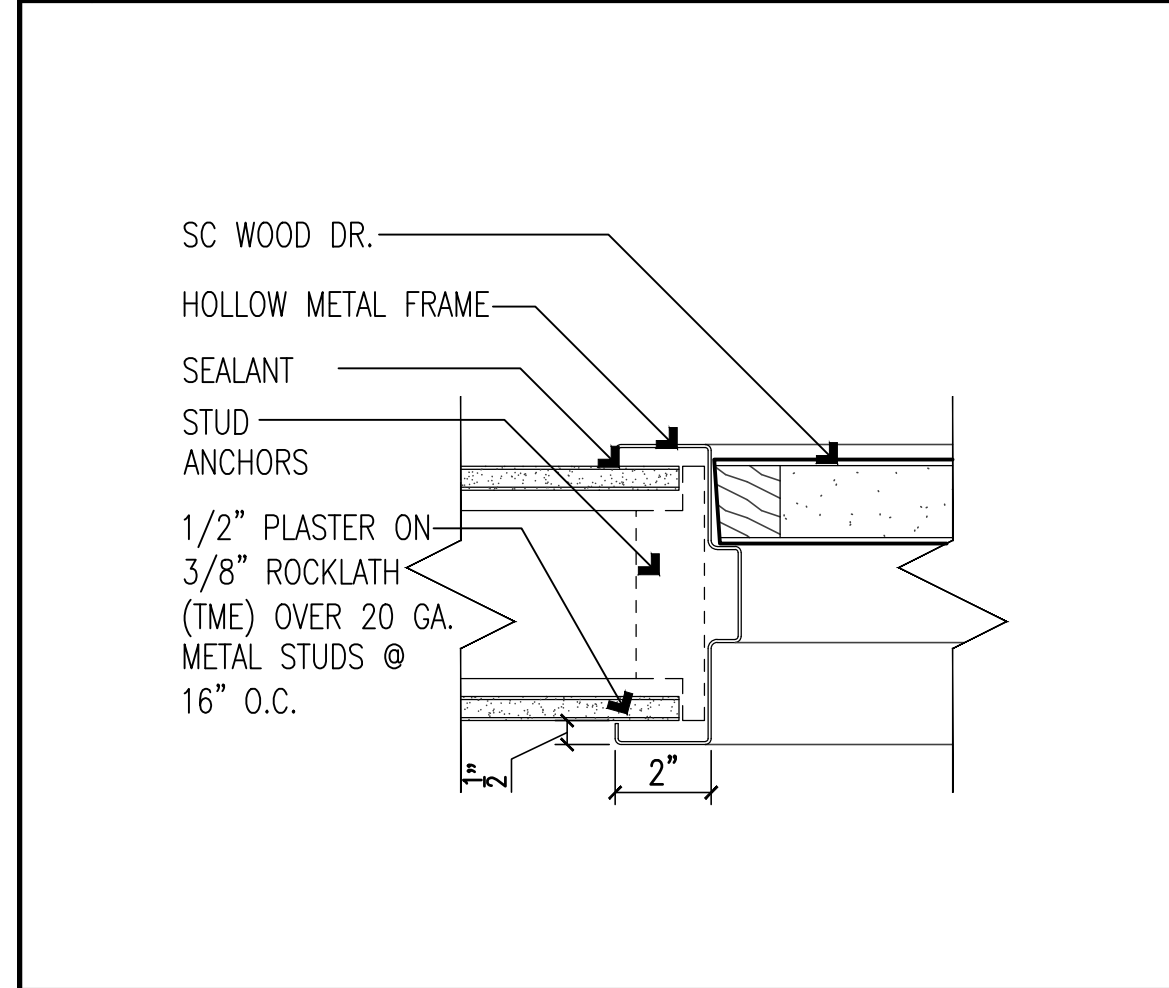
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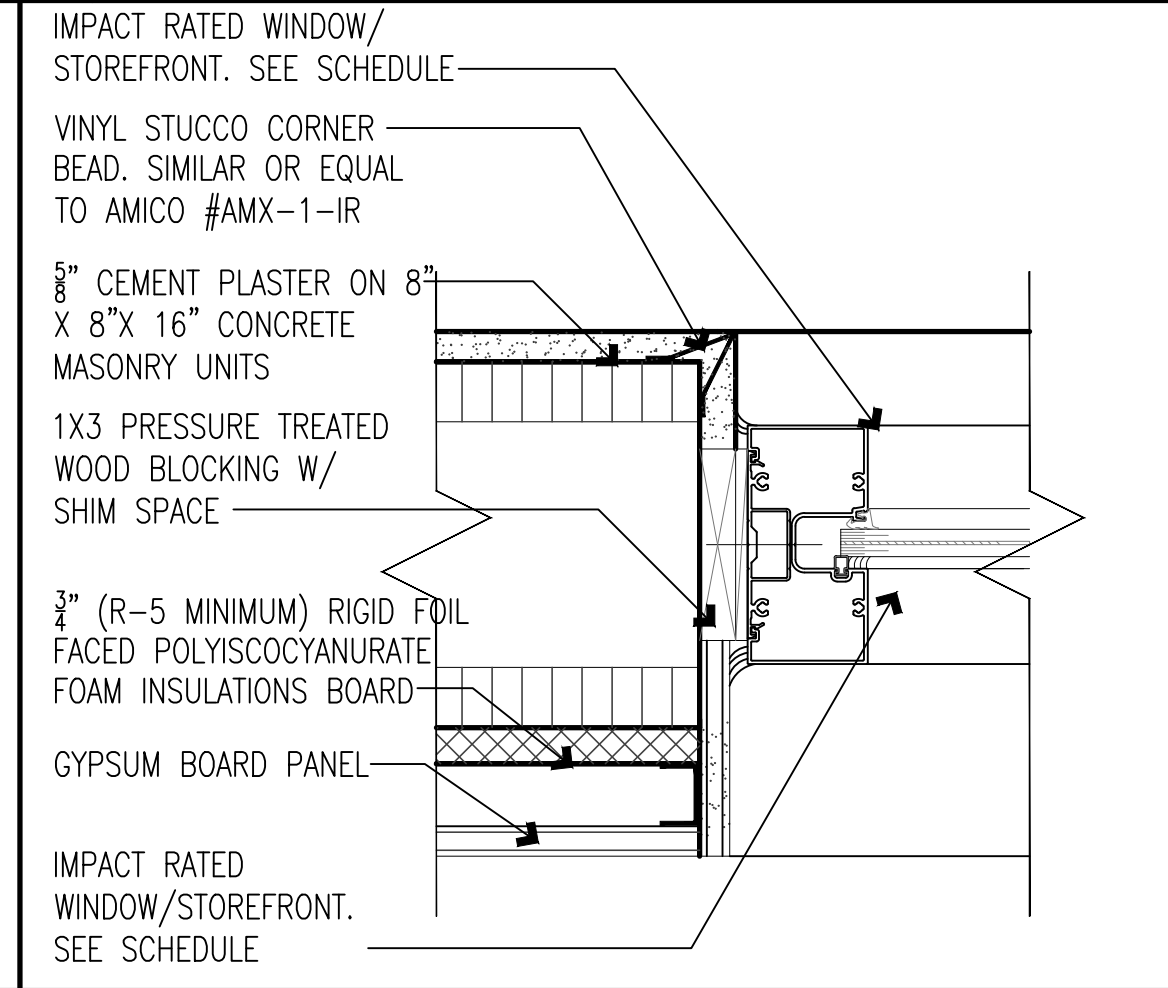
E | ACOUSTICAL TILE CEILING SCALE 3" = 1'-0"



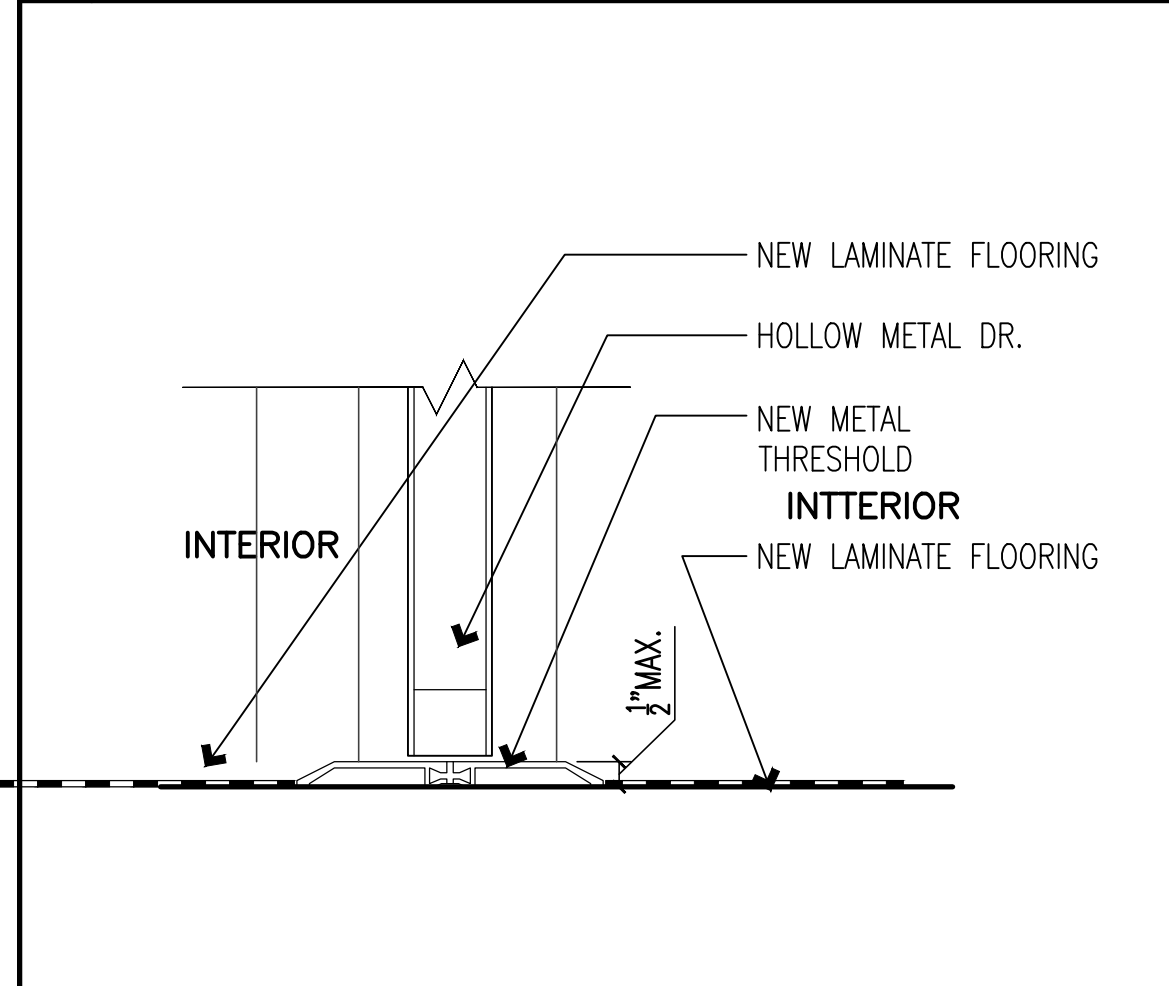
R | CMU INFILL @ WALL OPENING SCALE 1/2" = 1'-0"



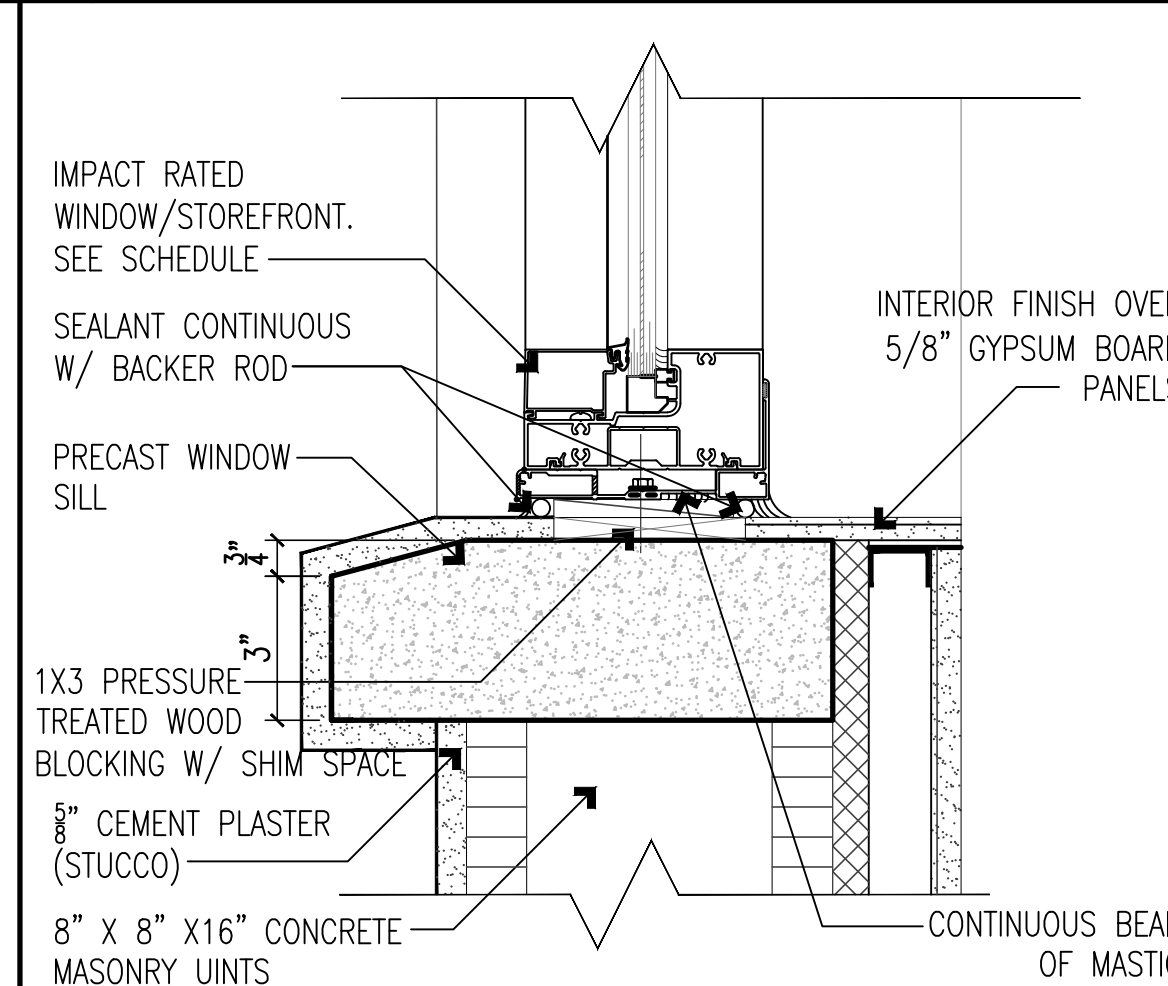
F | JAMB SCALE 3" = 1'-0"



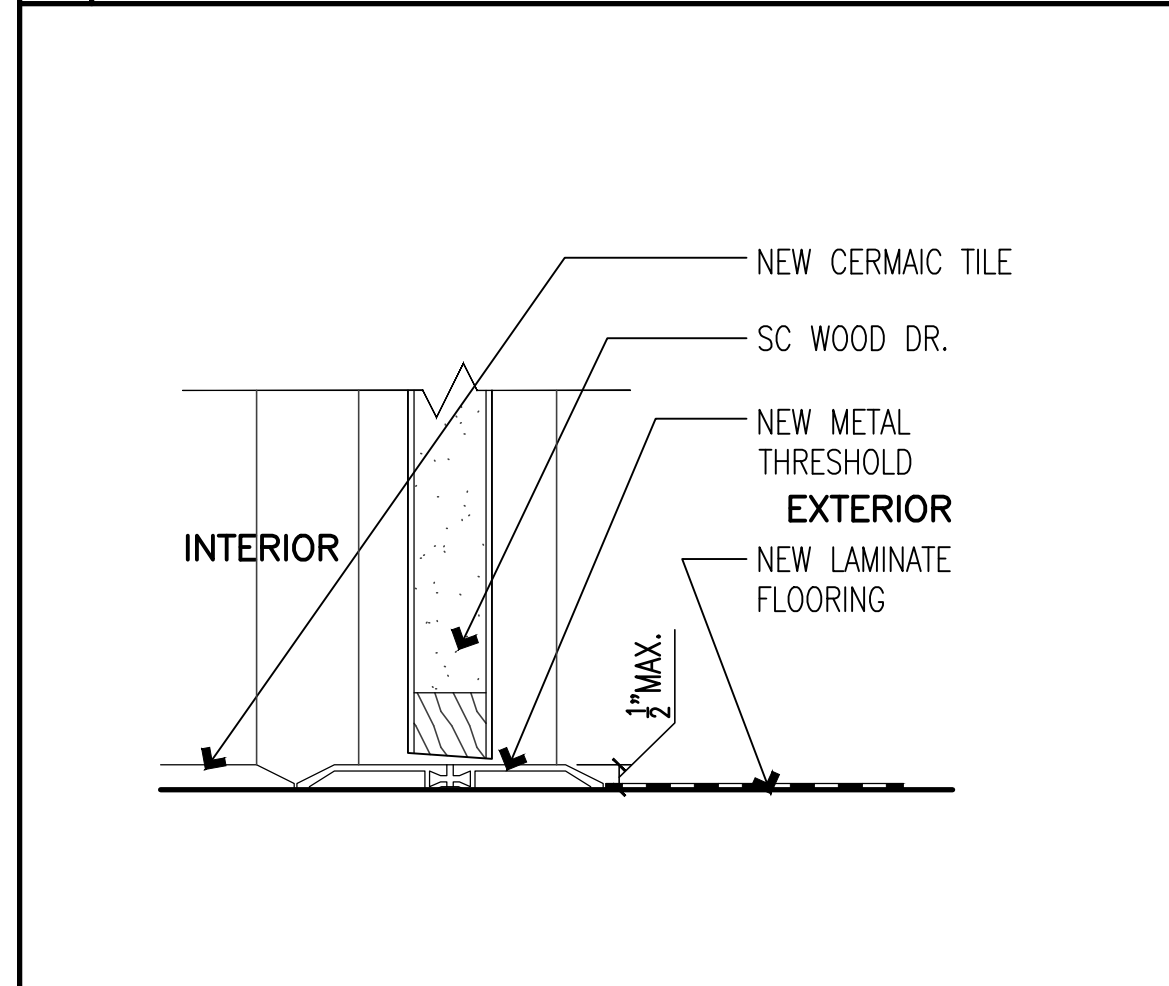
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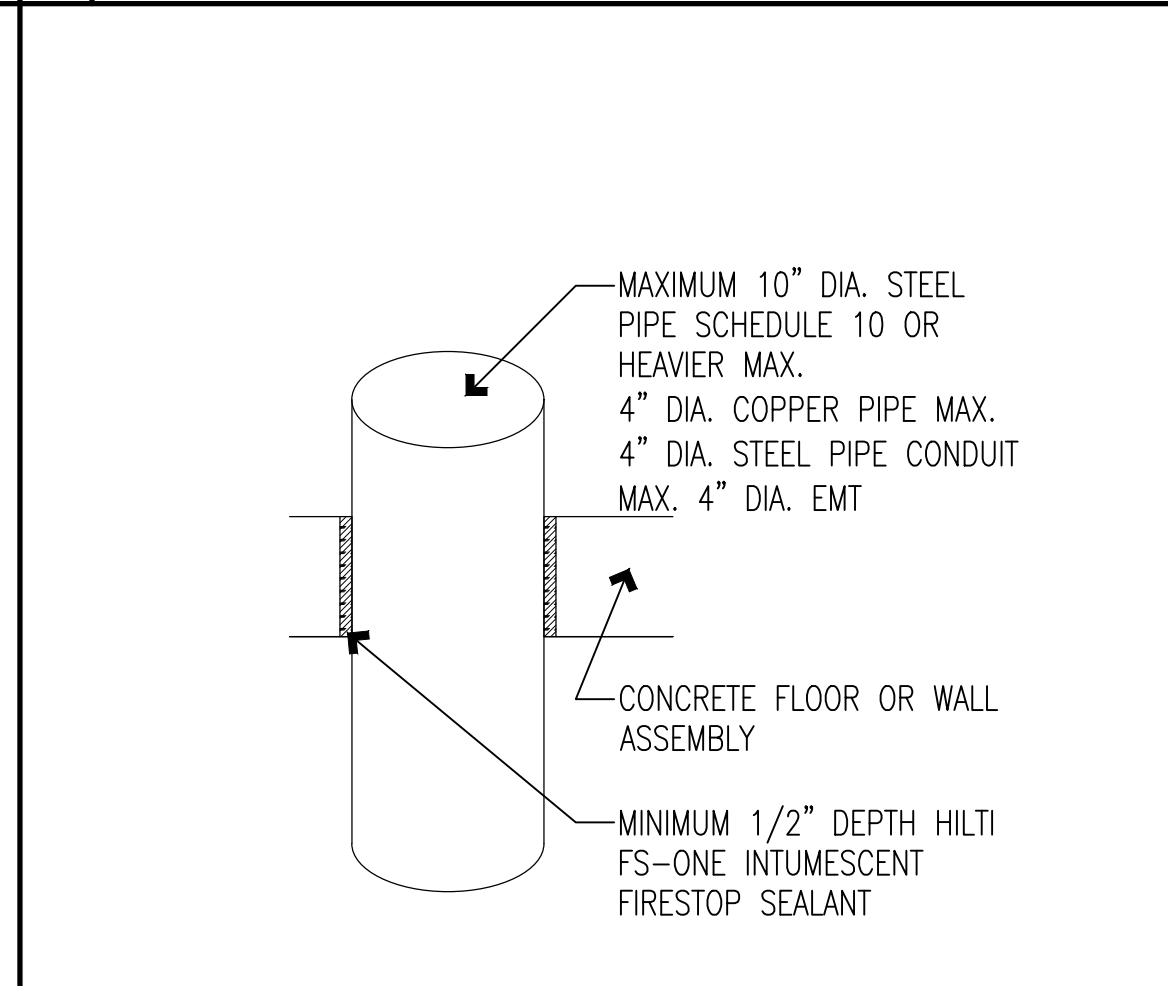
L1 | THRESHOLD SCALE 3" = 1'-0"



M | SILL SCALE 3" = 1'-0"

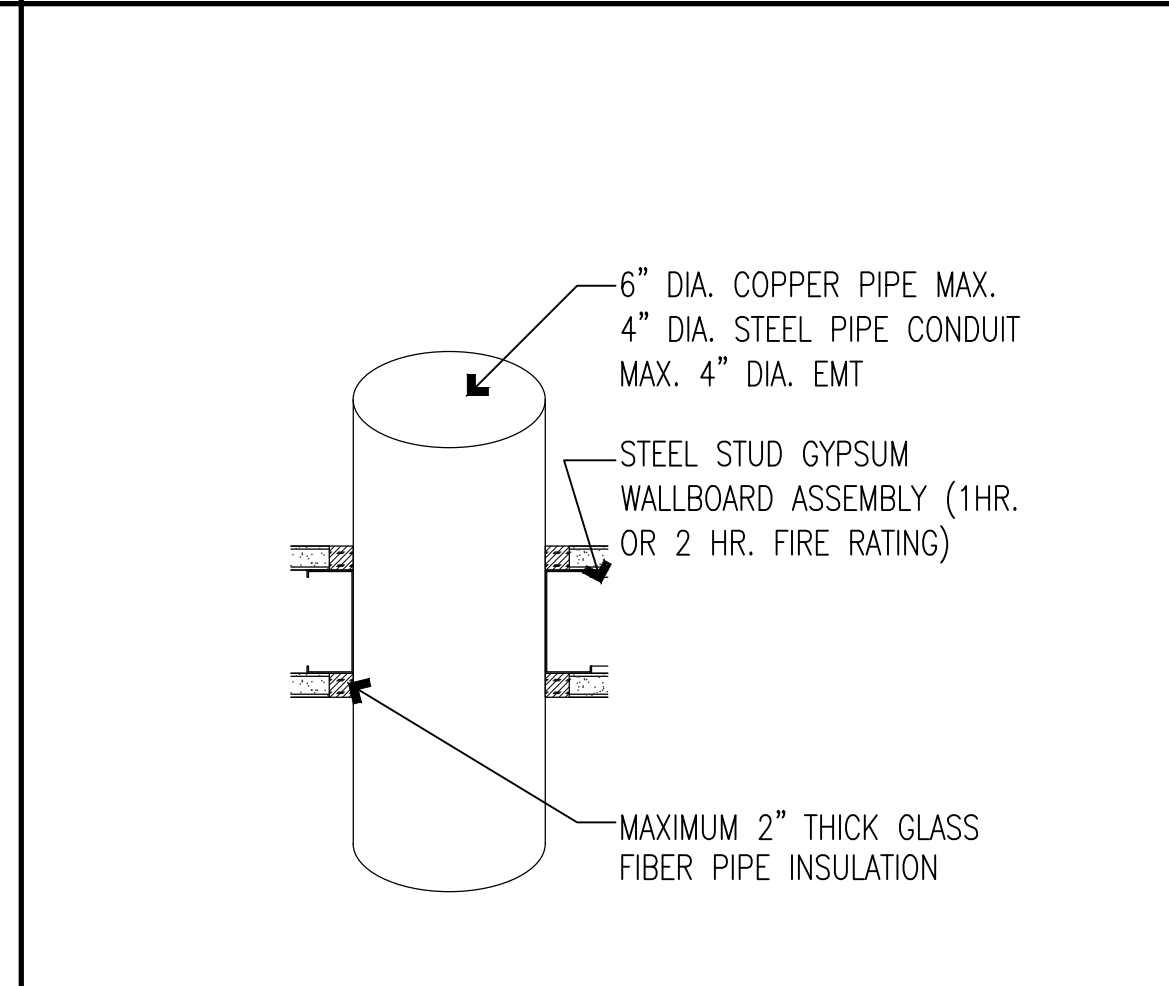


L2 | THRESHOLD SCALE 3" = 1'-0"



O | PENETRATION DETAIL THRU MASONRY WALLS

Digitally signed by Nicola M Johnson
Date: 2022.06.08 14:48:58 -04'00'



P | PENETRATION DETAIL THRU GYP. ASSEMBLY

COORDINATE DOOR SIGNAGE WITH DOOR NUMBER IN DOOR SCHEDULE AND ROOMS ON FLOOR PLAN

CONTRAST/FINISH - CONTRAST TO BE MINIMUM 70% CONTRASTING BETWEEN BACKGROUND AND TEXT. FINISH SHALL BE MATTE, EGGSHELL, OR NON-GLARE

SYMBOL - RAISED TACTILE 1/32

TEXT COPY 5/8" HIGH, RAISED UPPERCASE

TEXT SHALL BE CENTERED IN AREA BELOW GRAPHIC LINE AND CENTERED UNDER SYMBOL

BRAILLE - GRADE 2 BRAILLE, JUSTIFIED TO COPY, BELOW VERBAGE. SIGN SHALL BE MOUNTED SO THAT TOP OF BRAILLE SHALL BE NO HIGHER THAN 48" A.F.F.

SIGNAGE SHALL BE IN ACCORDANCE WITH FBC 7TH EDITION 2020 ACCESSIBILITY, 703.2 & 703.3

TEXT - 5/8" HIGH, UPPERCASE, TYP. TEXT SHALL BE CENTERED IN AREA BELOW GRAPHIC LINE AND CENTERED UNDER SYMBOL

BRAILLE - GRADE 2 BRAILLE, JUSTIFIED TO COPY, BELOW VERBAGE. SIGN SHALL BE MOUNTED SO THAT TOP OF BRAILLE SHALL BE NO HIGHER THAN 48" A.F.F. TYP.

1 | DOOR SIGNAGE SCALE 3" = 1'-0"

City of Tampa
CONSTRUCTION SERVICES DIVISION

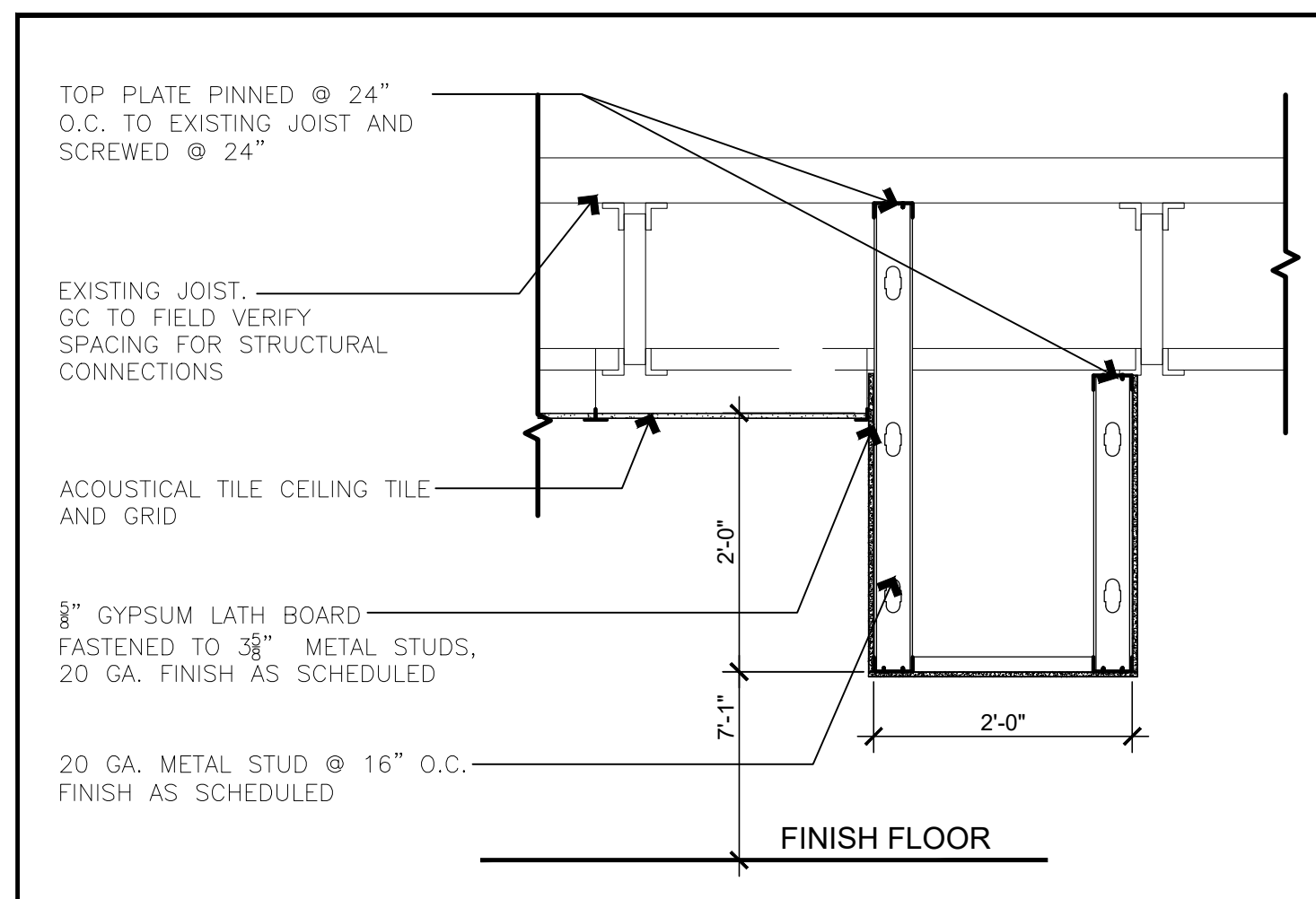
Rev.	Date	By	Remarks
1	03/09/2022	AR	FOR PERMITS
2			THIS SET OF PLANS MUST BE KEPT ON THE JOB AT ALL TIMES
3			IT IS UNLAWFUL TO MAKE CHANGES OR ALTERATIONS WITHOUT WRITTEN APPROVAL FROM THE DESIGN PROFESSIONAL
4			THESE PLANS SHALL BE KEPT ON THE JOB AT ALL TIMES
5			THE STAMPING OF THIS PLAN SHALL NOT BE HELD TO PERMIT OR APPROVE THE VIOLATION OF ANY CITY OR STATE CODES OR REGULATIONS FOR CODE COMPLIANCE
6			
7			
8			
9			
10			

AR ARCONIAL ARCHITECTURE, LLC
1211 Tech Boulevard - Suite 134, Tampa, FL 33619
Phone: 813-291-2916 Fax: 813-283-0056
A22002694
TO THE BEST OF MY KNOWLEDGE, THESE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH THE 2017 FLORIDA BUILDING CODE EDITION.
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20-C00023 KID

Plan Date: 03/09/2022
Scale: 1/4" = 1'-0"
Sheet: 20 OF 82
Page: **A-5.0**



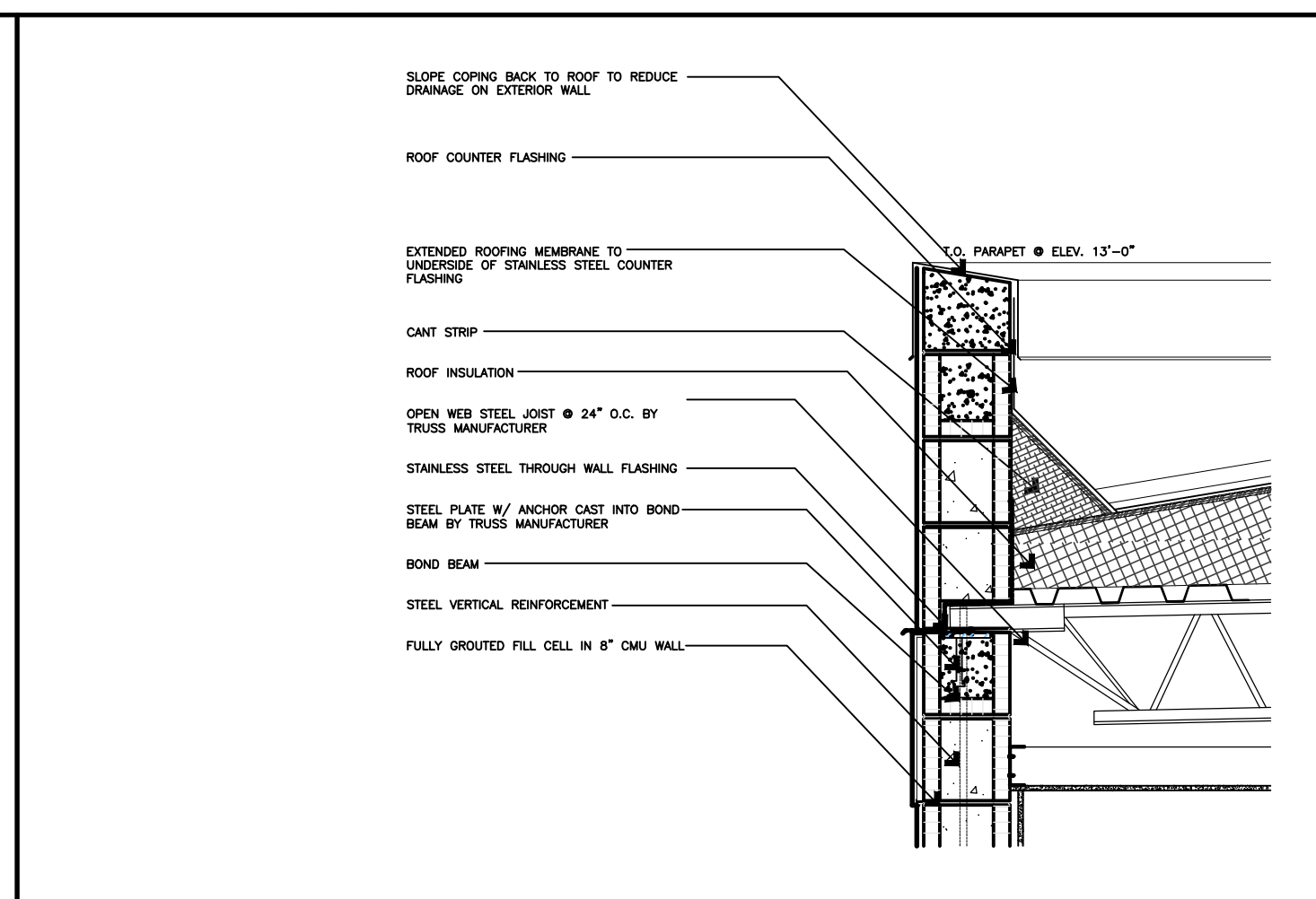
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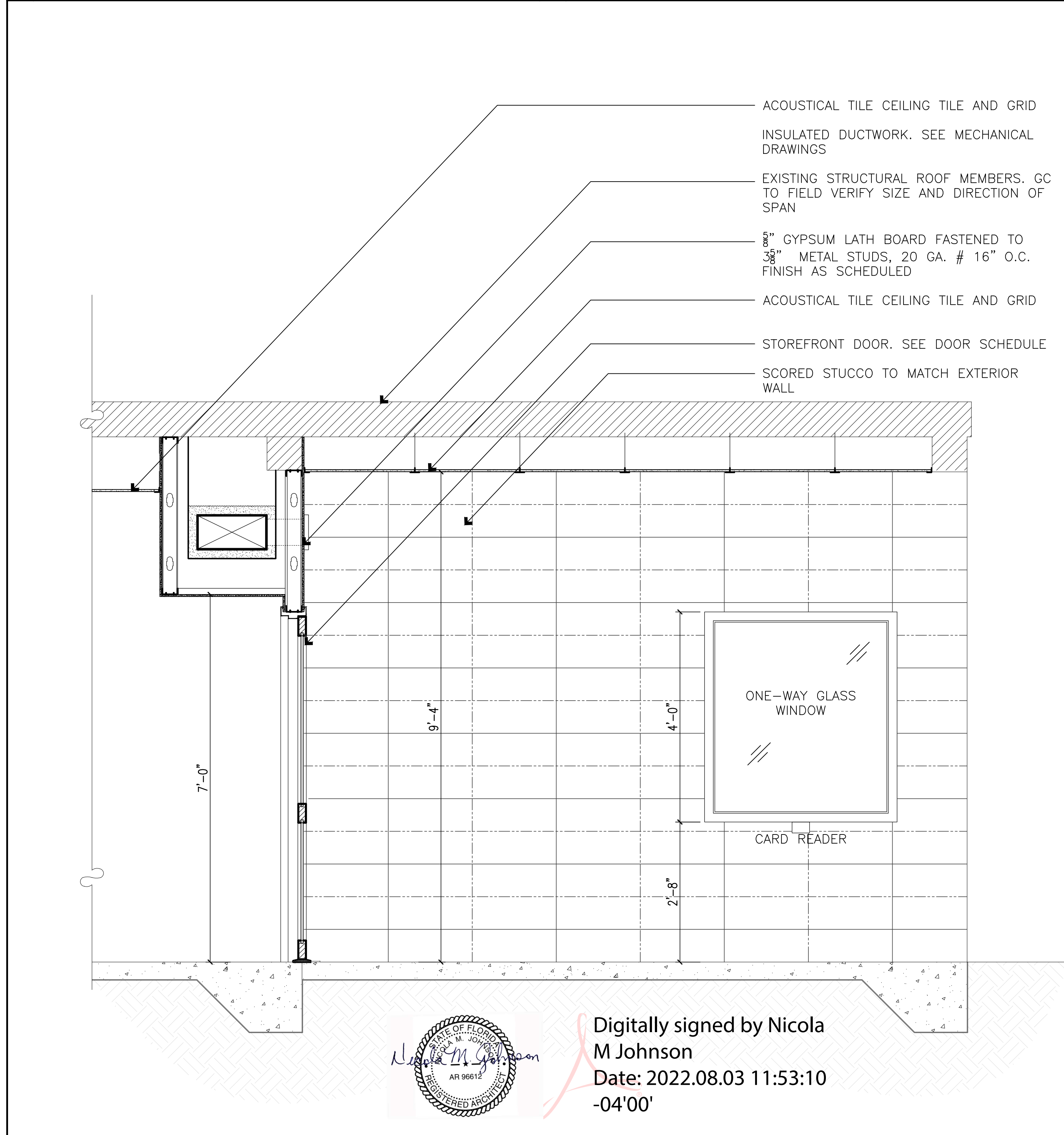
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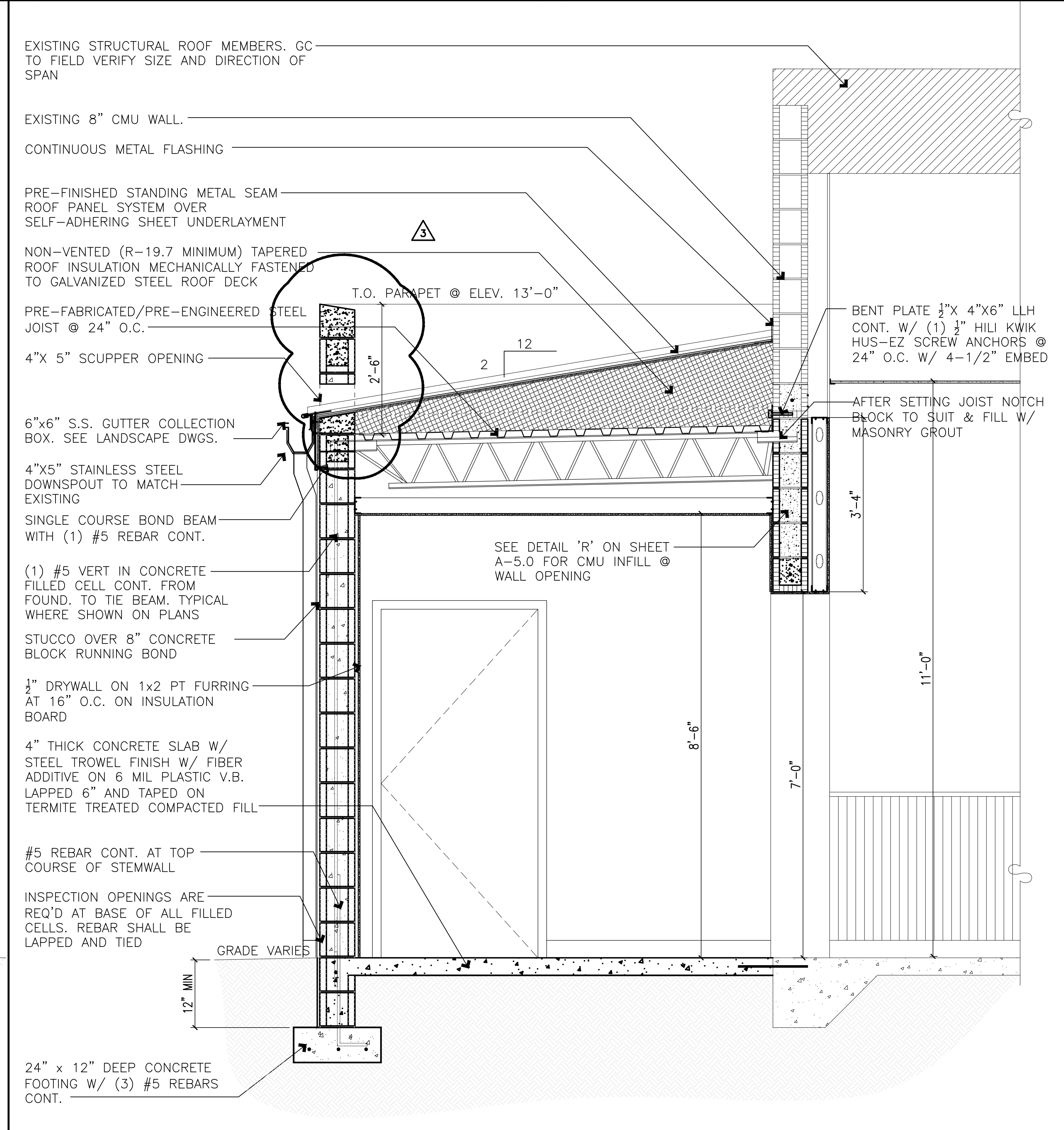
U NOT USED SCALE 1/2" = 1'-0"



V PARAPET WALL SCALE 3/4" = 1'-0"



WS-1 SECTION @ RECEPTION SCALE 3/4" = 1'-0"



WS-2 SECTION @ ADDITION SCALE 3/4" = 1'-0"

Rev.	Date	By	Remarks
1	06.08.2022	AR	PGC Response #1
2	07.15.2022	AR	PGC Response #2
3	08.03.2022	AR	PGC Response #3
4			PGC Response #4
5			PGC Response #5
6			PGC Response #6
7			PGC Response #7
8			PGC Response #8
9			PGC Response #9
10			PGC Response #10

City of Tampa
CONSTRUCTION SERVICES DIVISION

AR ARCONIAL ARCHITECTURE, LLC
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A22002694

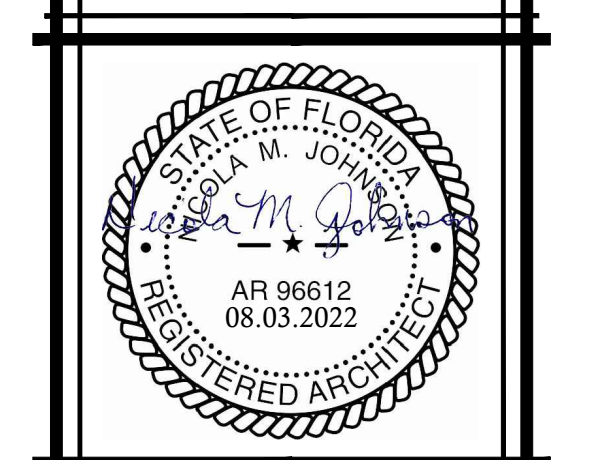
TO THE BEST OF MY KNOWLEDGE, THESE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH THE 2017 FLORIDA BUILDING CODE 6th EDITION.

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Proposed Renovation Exclusively For:

Kid Mason Community Center

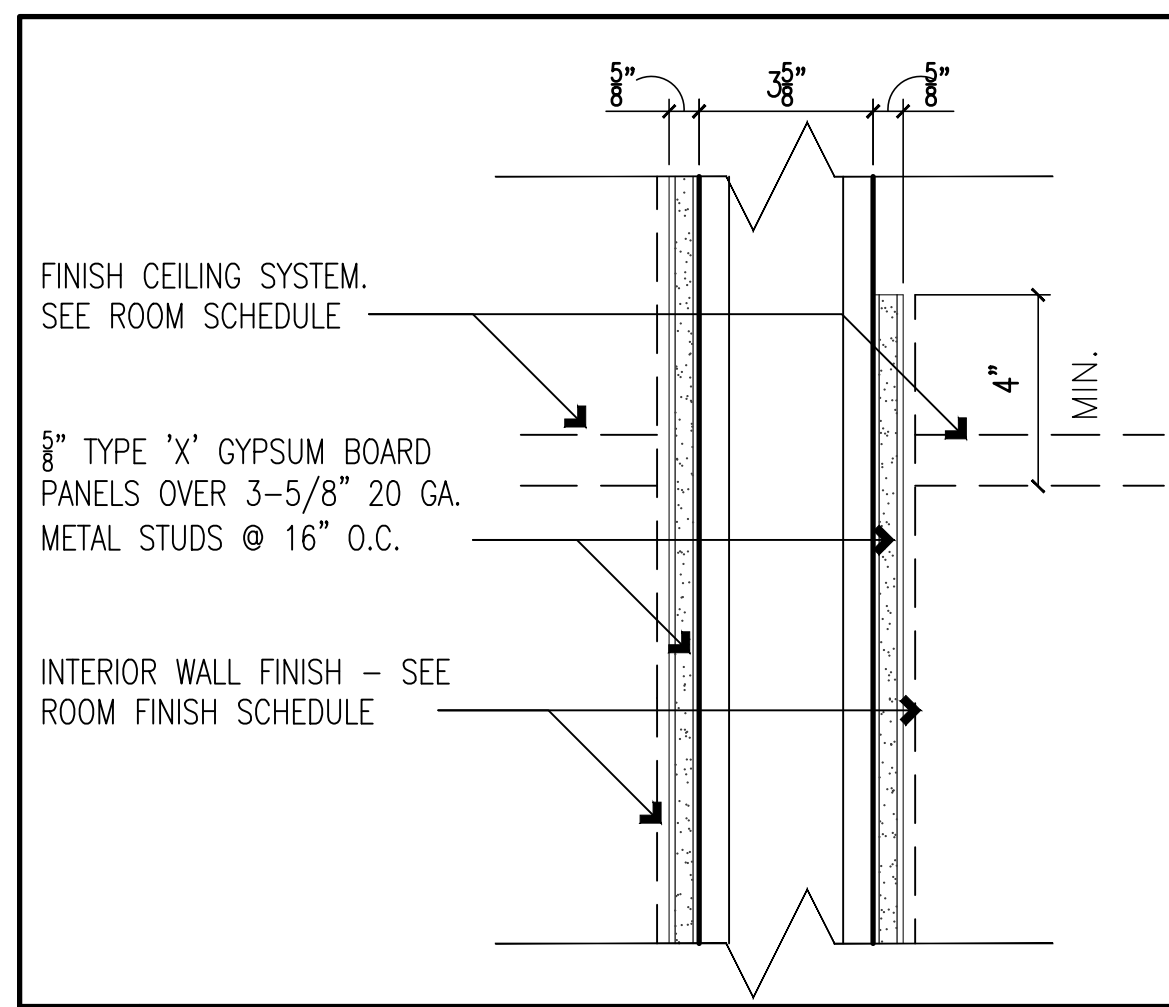
1101 N Jefferson Street
Tampa, FL 33602
City of Tampa



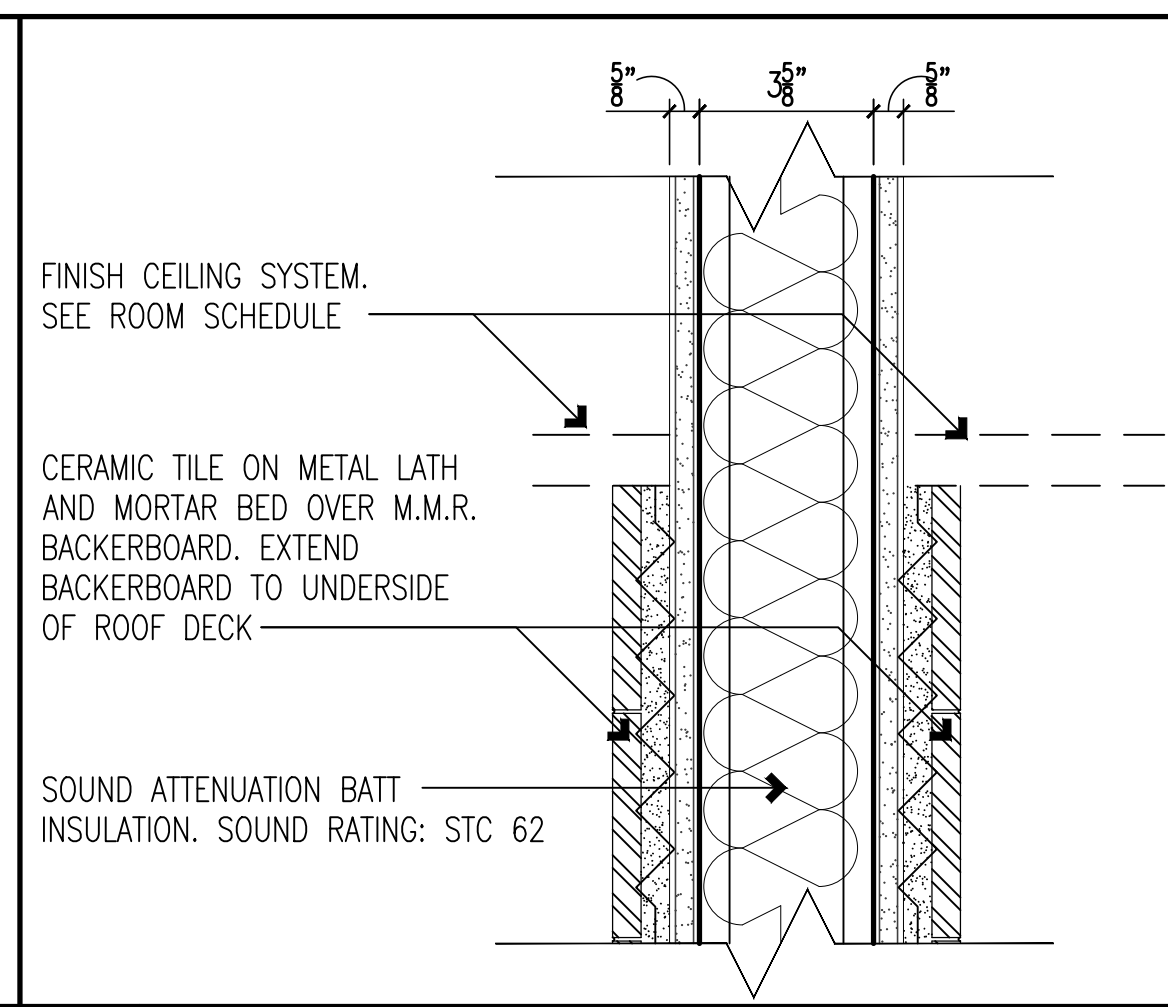
20-C00023 KID

Plan Date: 08/03/2022
Scale: 1/4" = 1'-0"
Sheet: 21 OF 82
Page: **A-6.0**

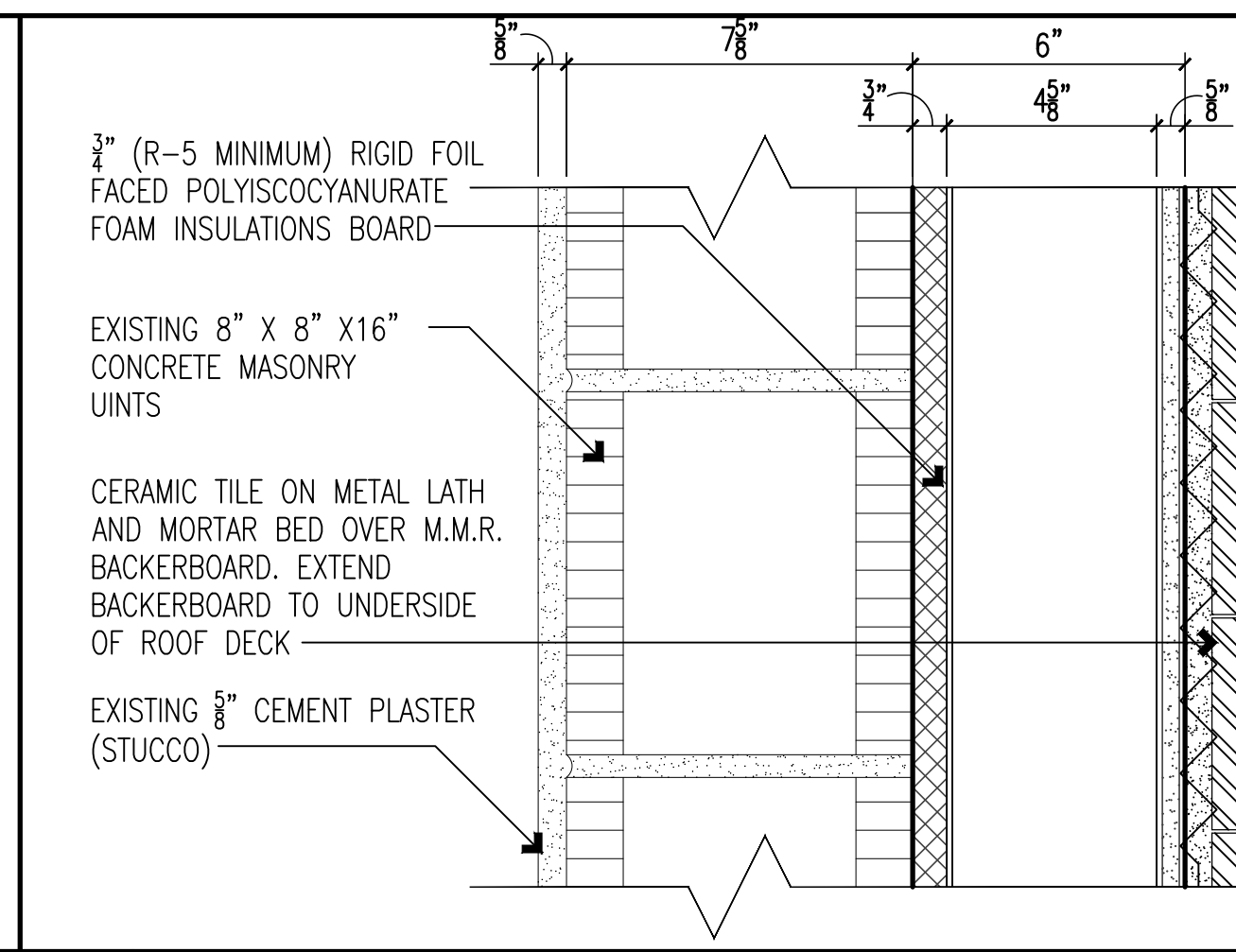
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WT.1 INTERIOR WALL TYPE SCALE 3" = 1'-0"



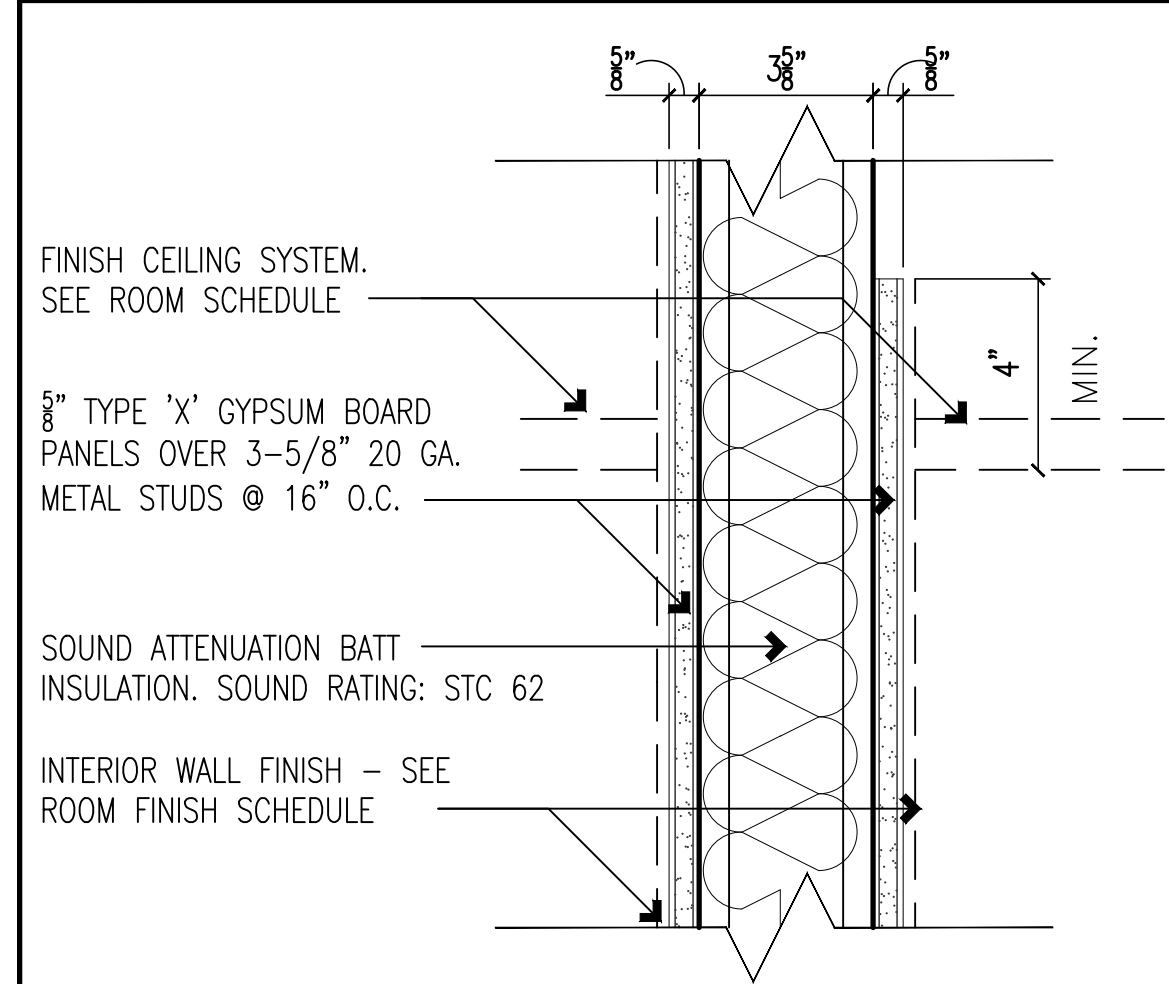
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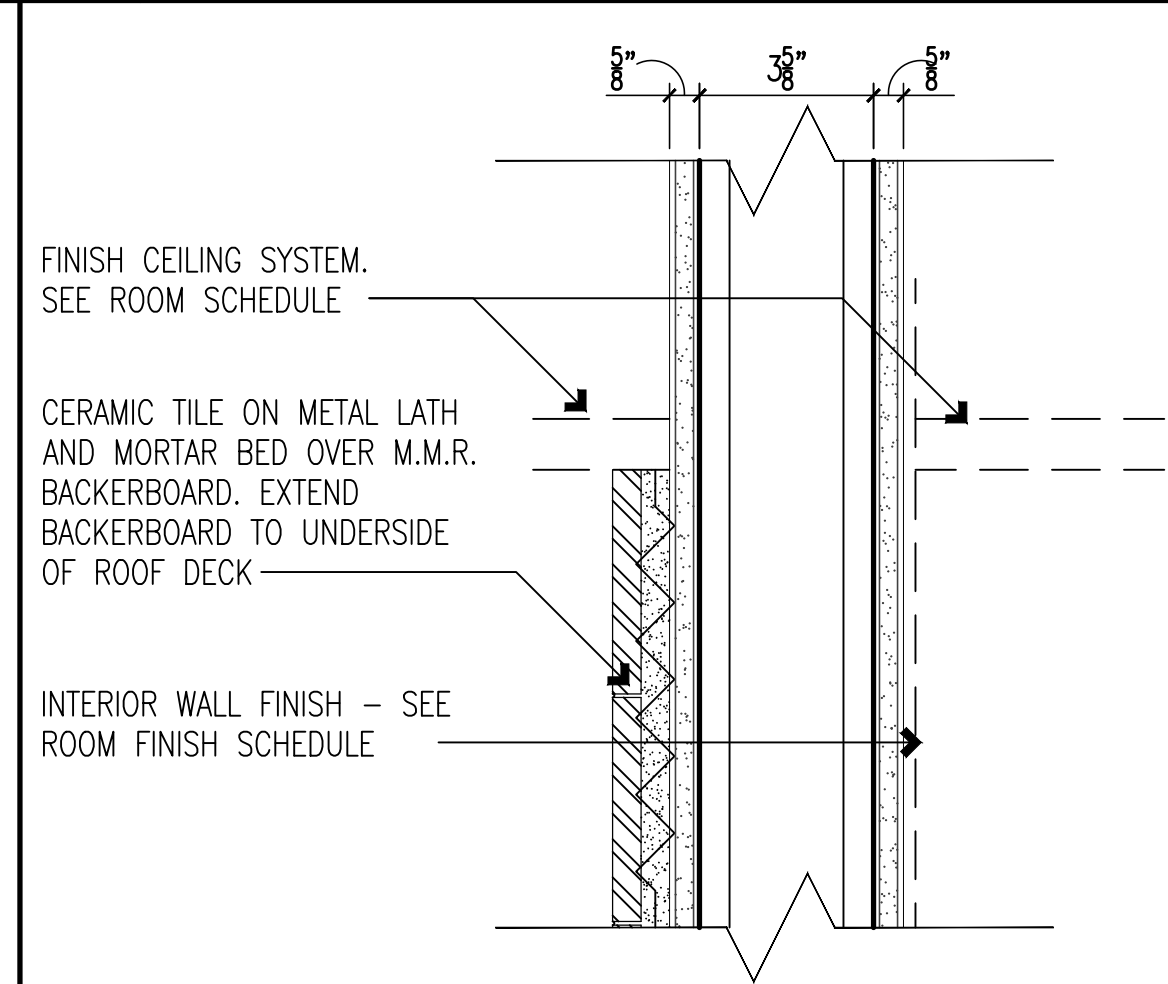
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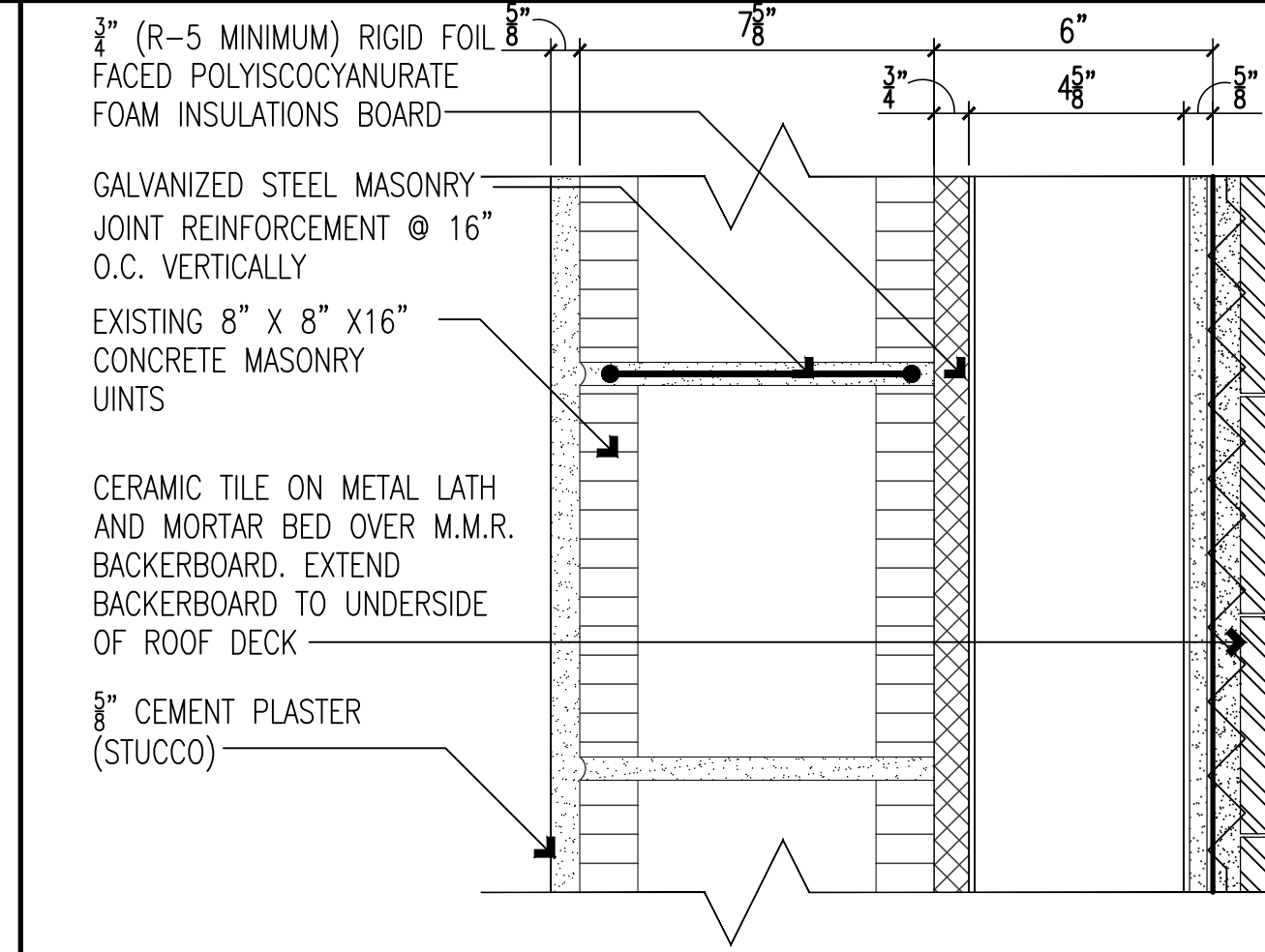
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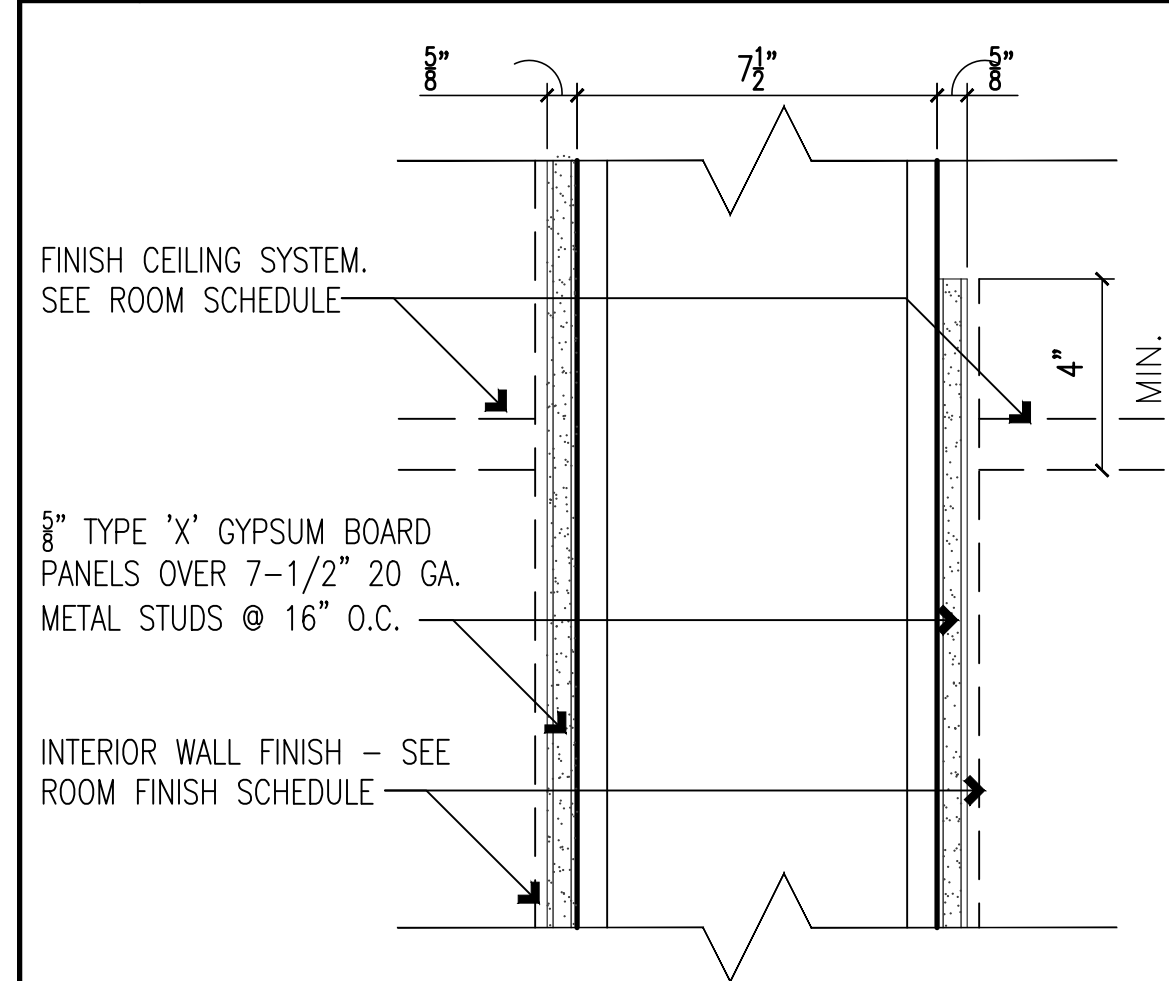
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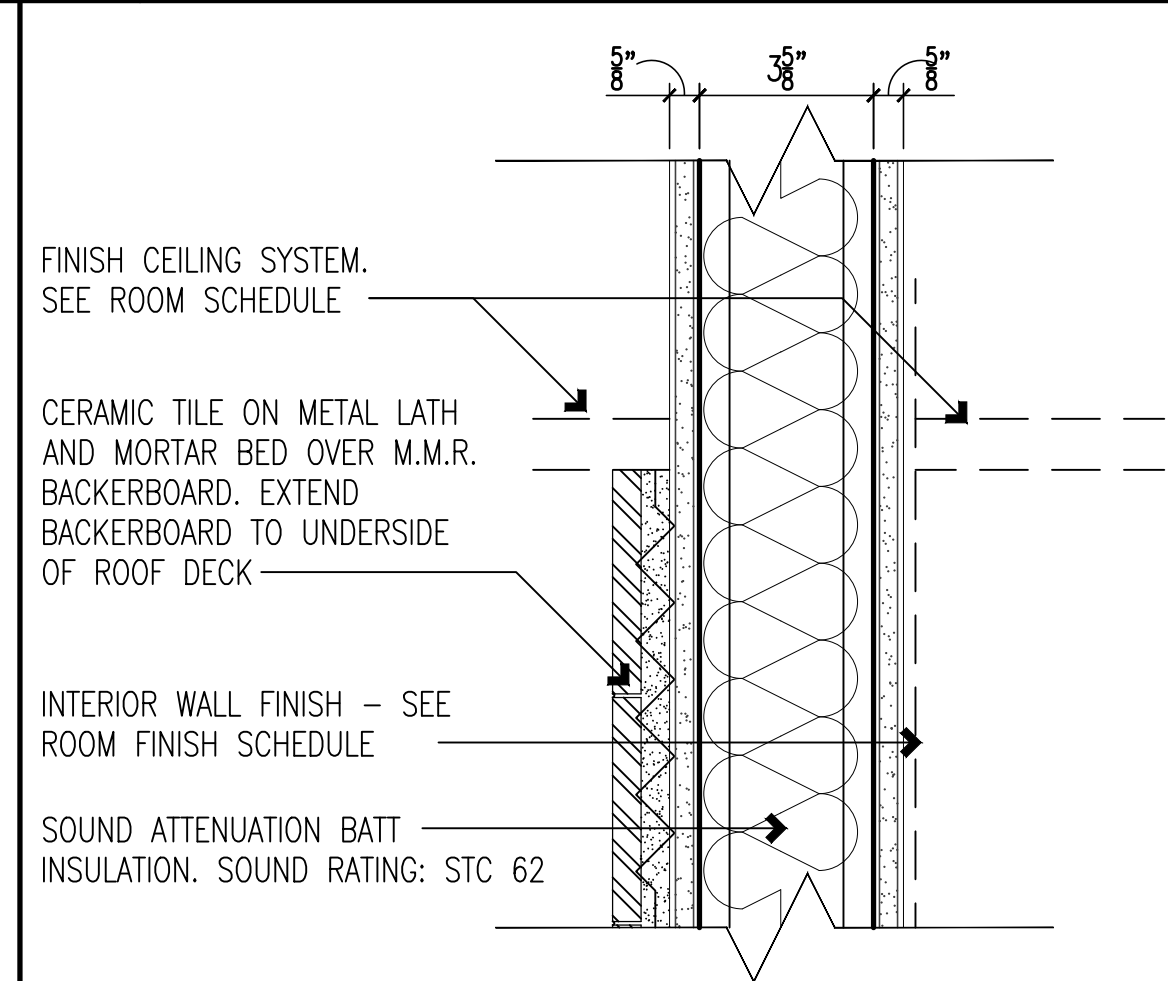
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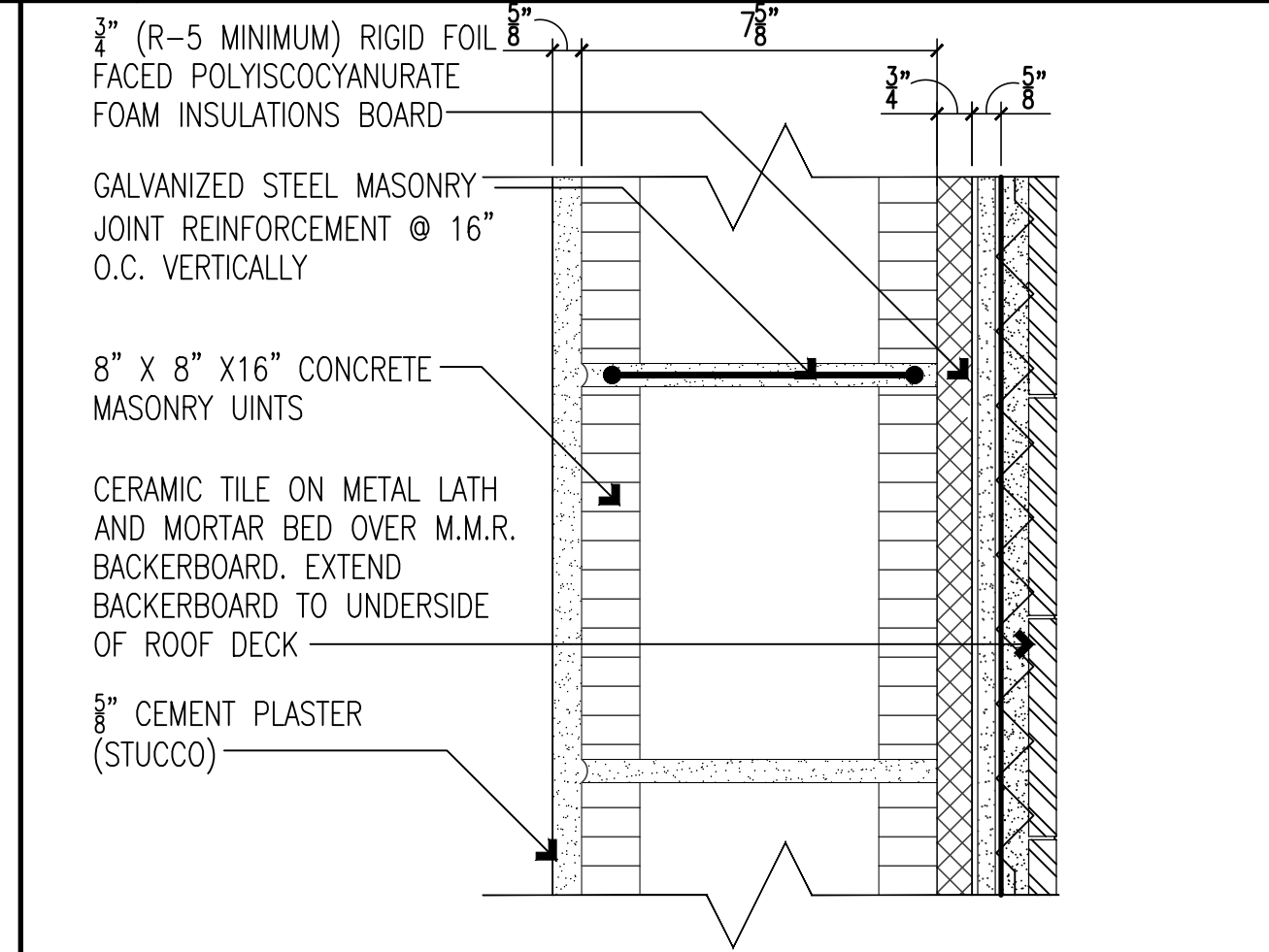
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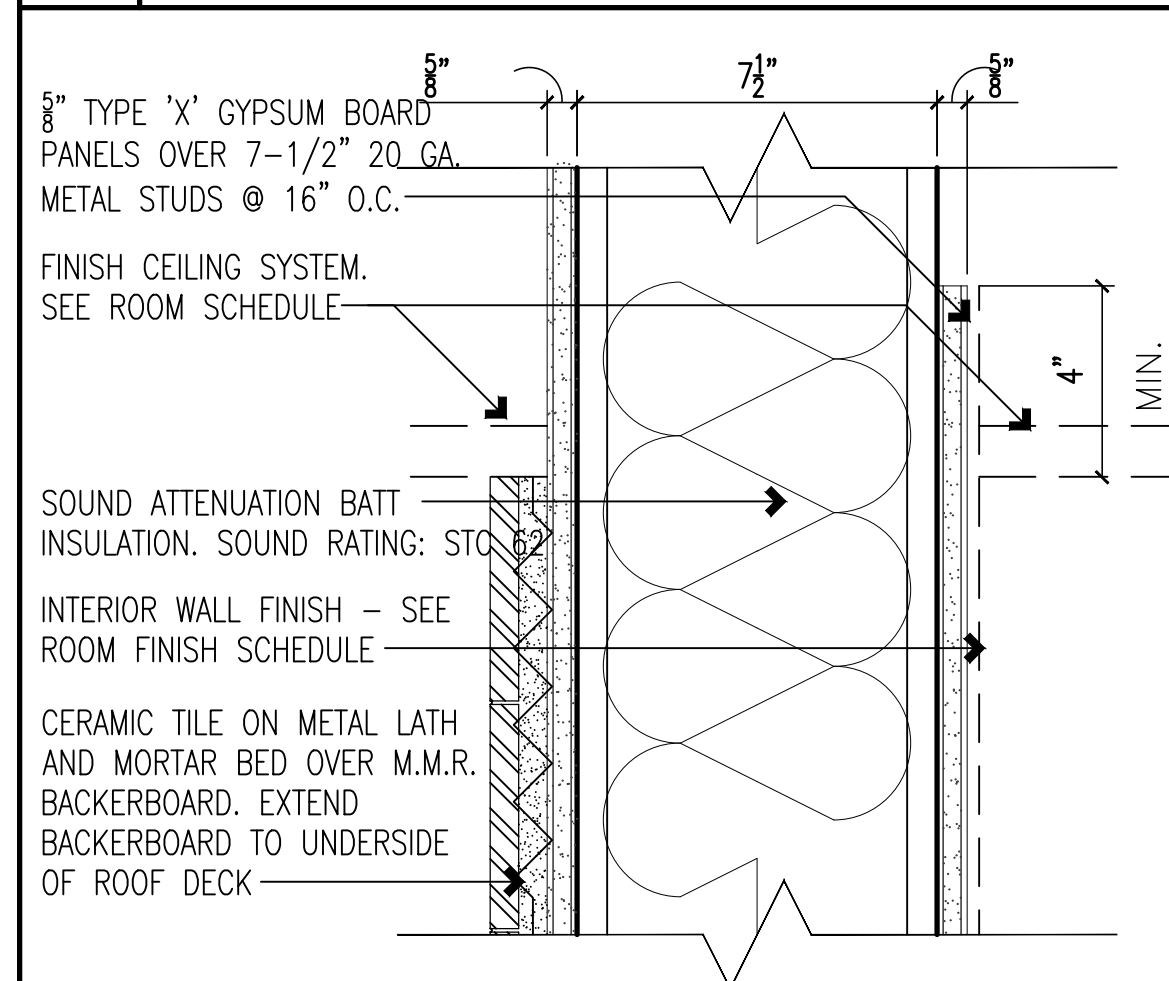
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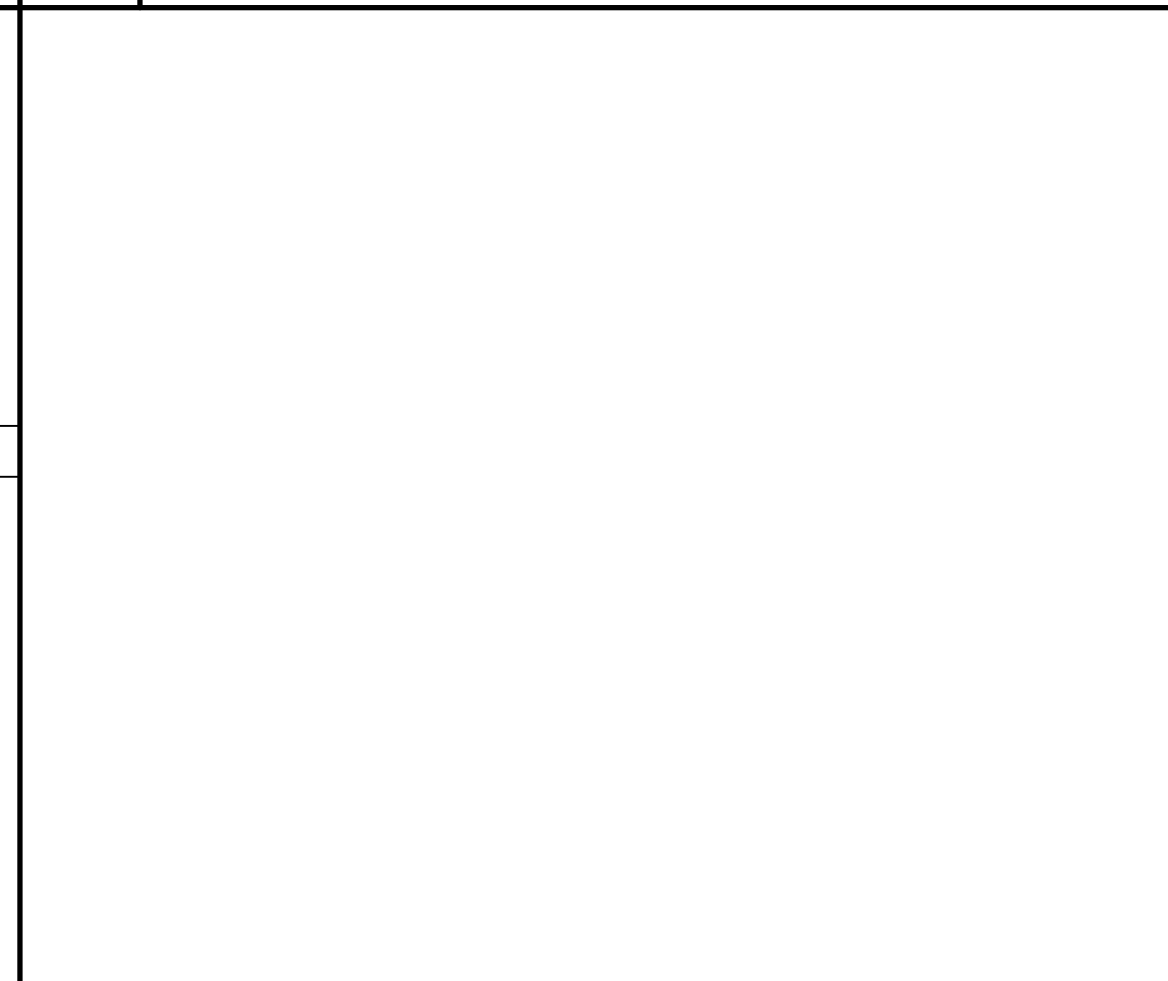
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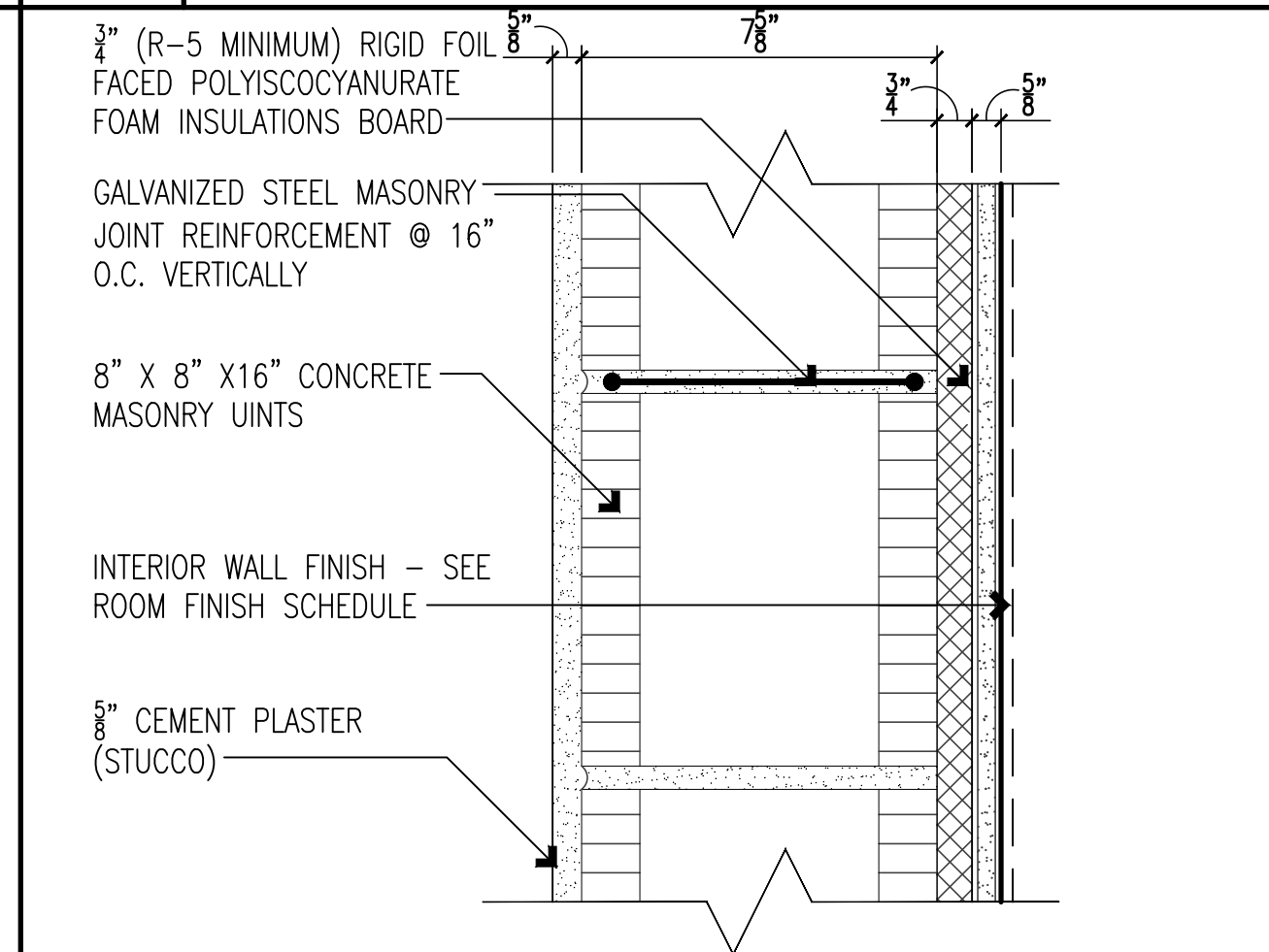
WT.10 EXTERIOR WALL TYPE SCALE 3" = 1'-0"



WT.4 INTERIOR WALL TYPE SCALE 3" = 1'-0"



WT.11 EXTERIOR WALL TYPE SCALE 3" = 1'-0"

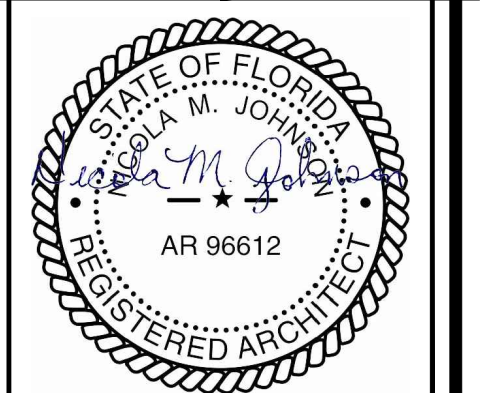


WT.11 EXTERIOR WALL TYPE SCALE 3" = 1'-0"

Rev.	Date	By	Remarks
1	02/14/2022	AR	THIS SET OF PLANS MUST BE KEPT ON THE JOB AT ALL TIMES
2			It is unlawful to make changes or alterations without written approval of the City of Tampa Planning Division
3			The Stamping of this plan shall not be held to permit or approve the violation of any City or State Codes
4			APPLICABLE MINIMUM FIRE SAFETY STANDARDS AS DETERMINED IN ACCORDANCE WITH THE 2017 FLORIDA BUILDING CODE 6th EDITION.
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AR ARCONIAL ARCHITECTURE, LLC
 1211 Tech Boulevard - Suite 134, Tampa, FL 33619
 Phone: 813-291-2916 Fax: 813-283-0056
 A226002694
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Proposed Renovation Exclusively For:
Kid Mason Community Center
 1101 N Jefferson Street
 Tampa, FL 33602
 City of Tampa



20-C00023 KID
 Plan Date: 02/14/2022
 Scale: 1/4" = 1'-0"
 Sheet: 22 OF 80
 Page: **A-7.0**

1. GENERAL NOTES

- 1.1. COMPACT BACK-FILL 5'-0" FROM STRUCTURE
- 1.2. COMPACT FILL TO A DENSITY OF 95% ASTM 1557D

2. PROTECTION OF OPENINGS

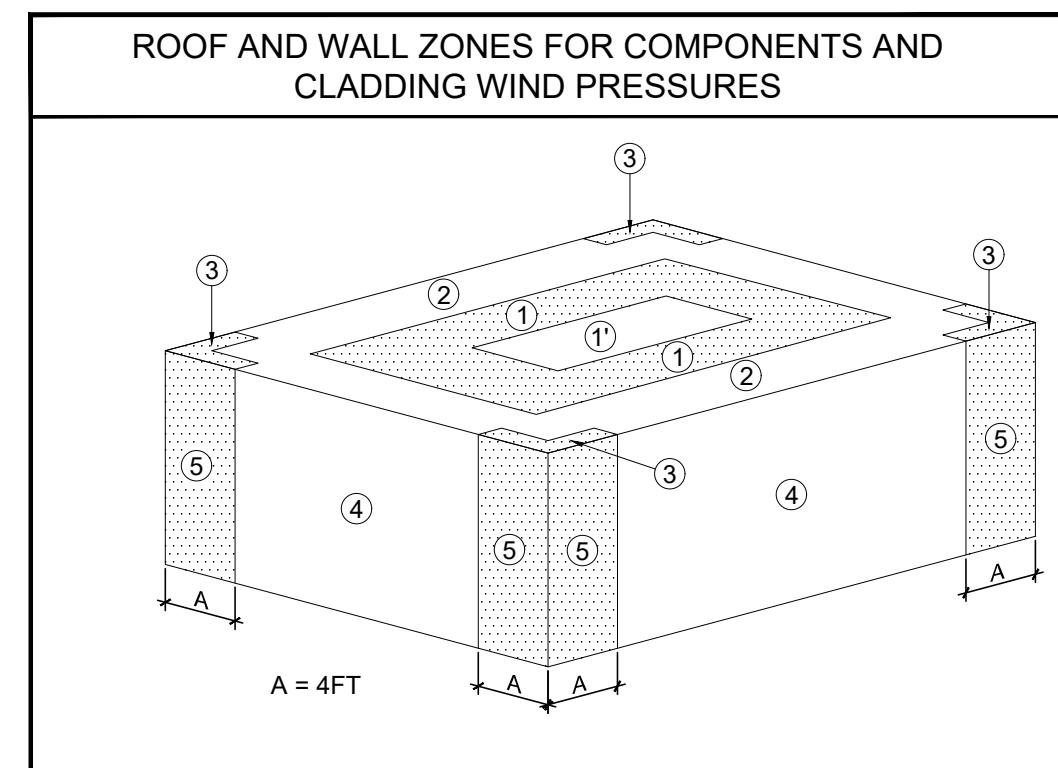
- 2.1. SHALL BE COVERED WITH AN IMPACT RESISTANT COVERING MEETING THE REQUIREMENTS OF SSTD12, ASTM E 1886 AND ASTM E 1996, OR MIAMI-DADE PA 201, 202, AND 203 REFERENCED THEREIN AS FOLLOWS:
- 2.2. GLAZED OPENINGS LOCATED WITHIN 30 FEET OF GRADE SHALL MEET THE REQUIREMENTS OF THE LARGE MISSILE TEST
- 2.3. GLAZED OPENING LOCATED MORE THAN 30 FEET ABOVE GRADE SHALL MEET THE PROVISIONS OF THE SMALL MISSILE TEST
- 2.4. OPENINGS FROM GARAGE INTO LIVING SPACE OF THE DWELLING SHALL MEET THE REQUIREMENT OF FBC SECTION R302.5.1
- 2.5. DUCTS IN THE GARAGE AND DUCTS PENETRATING THE WALLS OR CEILING SEPARATING THE DWELLING FROM THE GARAGE SHALL MEET THE REQUIREMENTS OF FBC SECTION R302.5.2
- 2.6. GARAGE AND LIVING SPACE SEPARATION SHALL MEET THE REQUIREMENTS OF FBC SECTION R302.6
- 2.7. GARAGE DOORS SHALL SATISFY THE REQUIREMENTS OF FBC FOR WIND LOADS AS DEFINED IN ROOF FRAMING AND WIND NOTES

3. CONCRETE/MASONRY NOTES

- 3.1. ALL CONCRETE SHALL BE F_c'=3000PSI.
- 3.2. MASONRY SHALL USE TYPE S MORTAR, F_m'=1900PSI.
- 3.3. REINFORCING STEEL SHALL SATISFY ASTM A615, GD 60. FOOTING MAY USE GD 40 STEEL.
- 3.4. WHERE INDICATED ON FLOOR PLANS, PROVIDE CONCRETE FILLED CELL WITH REINFORCING STEEL FROM FOOTING TO TIE BEAM HOOKED & TIED BEFORE INSPECTION. IF GROUT LIFT EXCEEDS 4'-0", AN INSPECTION HOLE TO VERIFY GROUTING SHALL BE PROVIDED AT THE BOTTOM CELL.
- 3.5. PROVIDE (1) #5 VERTICAL REINFORCING STEEL ELECTRICAL GROUND TO FOUNDATION STEEL.
- 3.6. FOUNDATION DOWELS AND VERTICAL REINFORCING SPACES AS SHOWN ON FLOOR PLANS. IN THE EVENT OF CONFLICTS, THE FLOOR PLANS SHALL TAKE PRECEDENCE OVER THE FOUNDATION PLAN.
- 3.7. ALL FOOTINGS TO BE SMOOTH AND LEVEL.
- 3.8. REINFORCING STEEL LAP LENGTH IN CONCRETE AND/OR MASONRY SHALL BE:
 - 3.8.1. #5 REBAR -30"
 - 3.8.2. #6 REBAR -36"
 - 3.8.3. #7 REBAR -45"
- 3.9. LAP LENGTH OF INDIVIDUAL BARS WITHIN A BUNDLE SHALL BE THAT FOR THE INDIVIDUAL BAR, INCREASED 20% FOR THREE-BAR BUNDLE, AND 33% FOR FOUR-BAR BUNDLE.
- 3.10. INDIVIDUAL BARS WITHIN A BUNDLE TERMINATED WITHIN THE SPAN OF THE BEAM SHALL TERMINATE AT DIFFERENT POINTS WITH AT LEAST 40Db STAGGER.
- 3.11. A FILLED CELL WITH (1) #5 VERTICAL SHALL BE LOCATED AT GIRDER TRUSSES WITH UPLIFT EXCEEDING 2000LBS U.N.O.
- 3.12. FILL ALL CELLS ABOVE PRECAST LINTELS.
- 3.13. MINIMUM CONCRETE COVER 3" CAST AGAINST SOIL AND 1 1/2" ELSE U.N.O. MAXIMUM CONCRETE COVER 6" U.N.O.
- 3.14. EMBEDDED TRUSS ANCHORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER REQUIREMENTS.
- 3.15. EMBEDDED ANCHORS/TIEDOWNS SHALL HAVE MIN 2" COVER.
- 3.16. MASONRY WALLS SHALL BE BRACED IN ACCORDANCE WITH "STANDARD PRACTICE FOR BRACING MASONRY WALLS UNDER CONSTRUCTION" MASON CONTRACTORS ASSOCIATION OF AMERICA, JULY 2001.

4. ROOF FRAMING NOTES

- 4.1. THE DESIGN OF ROOF FRAMING SHALL BE BASED ON THE REQUIREMENTS OF THE FBC-R.
- 4.2. DESIGN WIND LOADS SHALL BE APPLIED IN ACCORDANCE WITH FBC SECTION 1609. SEE WIND NOTES FOR WIND DESIGN REQUIREMENTS.



5. DESIGN LOADS AND NOTES

- 5.1. ROOF LIVE LOAD: 20 PSF CONCENTRATED 300 LBS.
- 5.2. ROOF DEAD LOAD: 27 PSF
- 5.3. FLOOR LIVE LOAD: 100 PSF
- 5.4. FLOOR DEAD LOAD: 15 PSF
- 5.5. MEAN ROOF HEIGHT SHALL BE DETERMINED BY CONTRACTOR.
- 5.6. LATERAL LOADS AT TOP OF EXTERIOR WALLS SHALL BE BASED ON 24.4 PSF ON WALL.
- 5.7. NO PROVISION HAS BEEN MADE IN THE STRUCTURAL DESIGN FOR TEMPORARY CONDITIONS OCCURRING DURING CONSTRUCTION, UNLESS SPECIFICALLY NOTED ON THE STRUCTURAL DRAWINGS. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY SHORING AND BRACING REQUIRED TO RESIST STRESSES OR INSTABILITY OCCURRING FROM ANY CAUSE DURING CONSTRUCTION. THE CONTRACTOR SHALL ASSUME COMPLETE RESPONSIBILITY FOR SUCH MEASURES.

6. STEEL JOISTS

- 6.1. STEEL DESIGN, DETAILING, FABRICATION AND ERECTION SHALL CONFORM TO THE STEEL JOIST INSTITUTE (SJI) STANDARD SPECIFICATIONS, LATEST EDITION.
- 6.2. BOTTOM CHORD OF JOIST SHALL BE ANGLES
- 6.3. ALL ERECTION WORK FOR STRUCTURAL STEEL SHALL BE CARRIED OUT IN STRICT ACCORDANCE WITH LATEST OSHA REQUIREMENTS
- 6.4. JOIST BRIDGING AND SPACING SHALL CONFORM TO SJI SPECIFICATIONS, INCLUDING BRIDGING REQUIRED FOR JOIST SUBJECTED TO UPLIFT LOADS. PROVIDE CROSS-BRIDGING AT ENDS OF BRIDGING LINES AND CHANGES IN JOIST DEPTHS. ANY BRIDGING SHOWN SHALL BE PROVIDED, IN ADDITION TO THE REQUIRED STANDARD BRIDGING. ENDS OF ALL BRIDGING LINES SHALL BE ANCHORED TO WALLS OR BEAMS.
- 6.5. WELD JOISTS TO STEEL SUPPORTS WITH 2" MINIMUM OF 1/8" FILLET WELD EACH SIDE OF JOIST. ALL WELDING TO BE MADE BY CERTIFIED WELDERS.
- 6.6. WELDING ELECTRODE: E-70XX SERIES
- 6.7. NO SHOP PAINTING ALLOWED WITHIN 3" OF FIELD WELDS
- 6.8. JOISTS SHALL BE BUILT TO FIT AS INDICATED ON THE FRAMING PLANS. MAXIMUM DEFLECTION DUE TO LIVE LOAD SHALL BE LIMITED TO L/360. JOIST SUPPLIER SHALL SUBMIT DESIGN CALCULATIONS TO ARCHITECT OF RECORD.
- 6.9. WHERE JOIST BRIDGING IS INTERRUPTED FOR ANY REASON, PROVIDE X-BRIDGING ON EITHER SIDE IN ADDITION TO THE STANDARD BRIDGING.
- 6.10. ALL JOIST SHALL BE DESIGNED TO ACCOMMODATE A MINIMUM CONCENTRATED LOAD OF 200 LBS. HUNG FROM THE JOIST TOP OR BOTTOM CHORD AT ANY POINT ALONG THE SPAN.
- 6.11. STEEL JOISTS SCHEDULED TO RECEIVE SPRAYED-ON FIREPROOFING SHALL NOT BE PRIME PAINTED. REFER TO ARCHITECTURAL DRAWINGS FOR LOCATIONS.

7. MECHANICAL, ELECTRICAL, PLUMBING

- 7.1. ALL MECHANICAL AND ELECTRICAL WORK TO BE PERFORMED AND MATERIALS USED SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE, LATEST EDITION AND IN ACCORDANCE WITH CHAPTER 13 OF FBC-R. FINAL CONNECTIONS TO BE MADE BY AN ELECTRICIAN LICENSED IN THE STATE OF FLORIDA.
- 7.2. ALL PLUMBING WORK TO BE PERFORMED AND MATERIALS USED SHALL BE IN ACCORDANCE WITH CHAPTER 26 OF FBC-R
- 7.3. REVIEW ALL SHOP DRAWINGS OF CABINETS, APPLIANCES FOR PROPER ROUGH-IN LOCATIONS
- 7.4. MECHANICAL
 - 7.4.1. HVAC CONTRACTOR SHALL PROVIDE DUCT DRAWINGS TO GENERAL CONTRACTOR FOR APPROVAL PRIOR TO INSTALLATION
 - 7.4.2. CONSTRUCTIONS FILTERS SHALL BE PLACED AT UNIT START UP AND NEW FILTERS SHALL BE INSTALLED AT THE COMPLETION OF PROJECT WHEN DIRECTED BY GENERAL CONTRACTOR
 - 7.4.3. HVAC CONTRACTOR SHALL PROVIDE ALL ENERGY CALCULATIONS
 - 7.4.4. HVAC CONTRACTOR SHALL PROVIDE ALL DIFFUSERS, REGISTERS AND AIR BOXES AS REQUIRED FOR PROPER VENTILATION
 - 7.4.5. ALL DUCTS SHALL BE PROPERLY SEALED WITH MASTIC AS REQUIRED BY CODE
 - 7.4.6. ALL THERMOSTATS SHALL BE DIGITAL CONTROL WITH AUTO BETWEEN HEAT AND COOL
 - 7.4.7. PIPING AND CONNECTIONS FOR ALL EXHAUST DUCTS, FANS, VENTS AND DRYER VENTS SHALL BE INSTALLED AND CONNECTED BY HVAC CONTRACTOR

7.5. ELECTRICAL

- 7.5.1. SUBCONTRACTOR TO VERIFY LOCATION OF POOL EQUIPMENT WITH CONTRACTOR PRIOR TO INSTALLATION. CONTRACTOR MAY CHANGE LOCATION OF POOL EQUIPMENT WITHOUT INCURRING ADDITIONAL EXPENSE
- 7.5.2. PROVIDE ELECTRICAL RISER DIAGRAM PRIOR TO COMMENCING INSTALLATION
- 7.5.3. PROVIDE SPECIFICATION SHEETS FOR ALL EQUIPMENT AND FIXTURES FOR APPROVAL PRIOR TO COMMENCING INSTALLATION
- 7.5.4. PROVIDE 300 AMP SINGLE PHASE SERVICE (UNDERGROUND)
- 7.5.5. PROVIDE ALL COPPER WIRING
- 7.5.6. THE ELECTRICAL SYSTEM SHALL BE INSTALLED WITH ALL REQUIRED COMPONENTS
- 7.5.7. THE ELECTRICAL SYSTEM SHALL BE GROUNDED AS REQUIRED BY CODE
- 7.5.8. ALL ELECTRICAL EQUIPMENT SHALL BE MOUNTED ABOVE FEMA FLOOD HEIGHT REQUIRED PER CODE
- 7.5.9. PROVIDE ARC FAULT INTERRUPTER (AFCI) PROTECTION IN FAMILY ROOM, DINING ROOM, LIVING ROOM, CLOSETS, HALLWAYS, AND SIMILAR ROOMS OR AREAS
- 7.5.10. PROVIDE AND INSTALL GROUND FAULT CIRCUIT INTERRUPTER (GFI) IN KITCHENS, BATHROOMS, LAUNDRY ROOMS, UNFINISHED BASEMENTS, GARAGES, ATTICS, EXTERIOR LOCATIONS, AND AT WHIRLPOOL (WHERE APPLICABLE)
- 7.5.11. UNLESS NOTED OTHERWISE, INSTALL RECEPTACLES AND SWITCHES, AT THE FOLLOWING HEIGHTS ON CENTER ABOVE FINISH FLOOR:
 - 7.5.11.1. RECEPTACLES, PHONE JACKS, DATA OUTLET 14"
 - 7.5.11.2. DUPLEX RECEPTACLES OVER VANITIES 42"
 - 7.5.11.3. DUPLEX RECEPTACLES OVER COUNTERTOPS 48"
 - 7.5.11.4. DUPLEX RECEPTACLES FOR SECURITY BOX 96"
 - 7.5.11.5. DUPLEX RECEPTACLES FOR STRIP LIGHTS 100"
 - 7.5.11.6. THERMOSTATS 60"
 - 7.5.11.7. SWITCHES AND OTHER WALL MOUNTED CONTROLS ... 46"
 - 7.5.11.8. WALL SCONCES 66"
 - 7.5.11.9. FIXTURES OVER VANITIES 80"

- 7.6. ALL SMOKE DETECTORS SHALL BE HARDWIRED INTO AN ELECTRICAL POWER SOURCE AND SHALL BE EQUIPPED WITH A MONITORED BATTERY BACKUP. PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS
- 7.7. EVERY BUILDING HAVING A FOSSIL-FUEL BURNING HEATER OR APPLIANCE,

- A FIREPLACE, OR AN ATTACHED GARAGE SHALL HAVE AN OPERATIONAL CARBON MONOXIDE ALARM INSTALLED WITHIN 10'-0" OF EACH ROOM USED FOR SLEEPING PURPOSES IN ACCORDANCE WITH FBC SECTION R315
- 7.8. ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHEN SUCH WIRING IS SERVED FROM THE LOCAL POWER UTILITY. SUCH ALARMS SHALL HAVE BATTERY BACKUP. COMBINATION SMOKE/CARBON MONOXIDE ALARMS SHALL BE LISTED OR LABELED BY A NATIONALLY RECOGNIZED TESTING LABORATORY
- 7.9. ALL EXTERIOR OUTLETS SHALL BE WATERPROOF, NEMA 3R FOAM LINERS PROVIDED AND INSTALLED AT ALL EXTERIOR WALL SWITCHES AND RECEPTACLES
- 7.10. WATER HEATERS SHALL BE INSTALLED WITH A TIMER AND HAVE A PVC DRAIN BASIN WITH DRAIN TO EXTERIOR AND T&P VALVE
- 7.11. DRYER VENTED TO OUTSIDE WITH METAL VENT, NON-SCREENED, WITH BACK-DRAFT DAMPER
- 7.12. RANGE HOODS AND APPLIANCES EQUIPPED WITH DOWN DRAFT EXHAUST SHALL DISCHARGE TO THE OUTDOORS THROUGH DUCTS CONSTRUCTED OF GALVANIZED STEEL, STAINLESS STEEL, OR COPPER, AND SHALL BE AIR-TIGHT AND EQUIPPED WITH A BACK-DRAFT DAMPER
- 7.13. ALL EQUIPMENT SHALL BE PROPERLY SIZED
- 7.14. ALL SERVICE EQUIPMENT SHALL BE APPROVED BY LOCAL POWER COMPANY

- 7.15. PLUMBING
 - 7.15.1. SUBCONTRACTOR SHALL PROVIDE PIPE PLAN FOR SANITATION AND WATER
 - 7.15.2. SUBCONTRACTOR SHALL PROVIDE PLUMBING RISER DIAGRAM
 - 7.15.3. SUBCONTRACTOR SHALL VERIFY PLUMBING ROUGH-IN LOCATION WITH CABINET SHOP DRAWINGS AND IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS FOR ALL FIXTURES, EQUIPMENT, AND APPLIANCES

8. PEST/DECAY PROTECTION NOTES

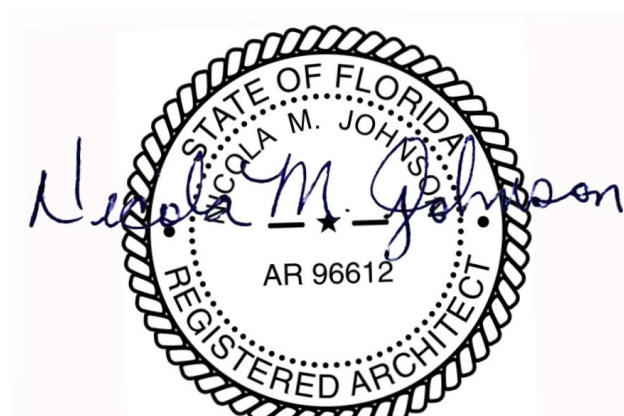
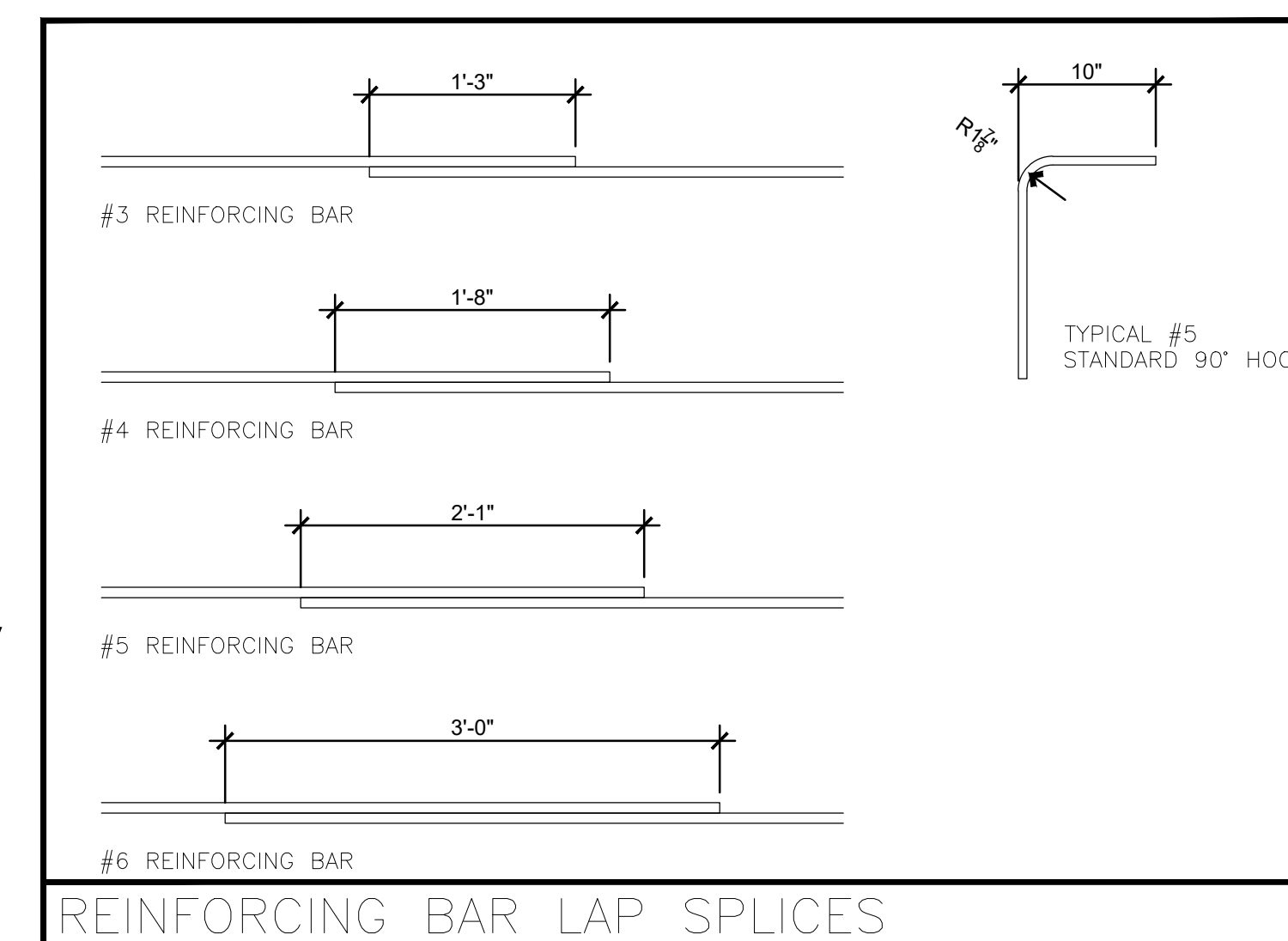
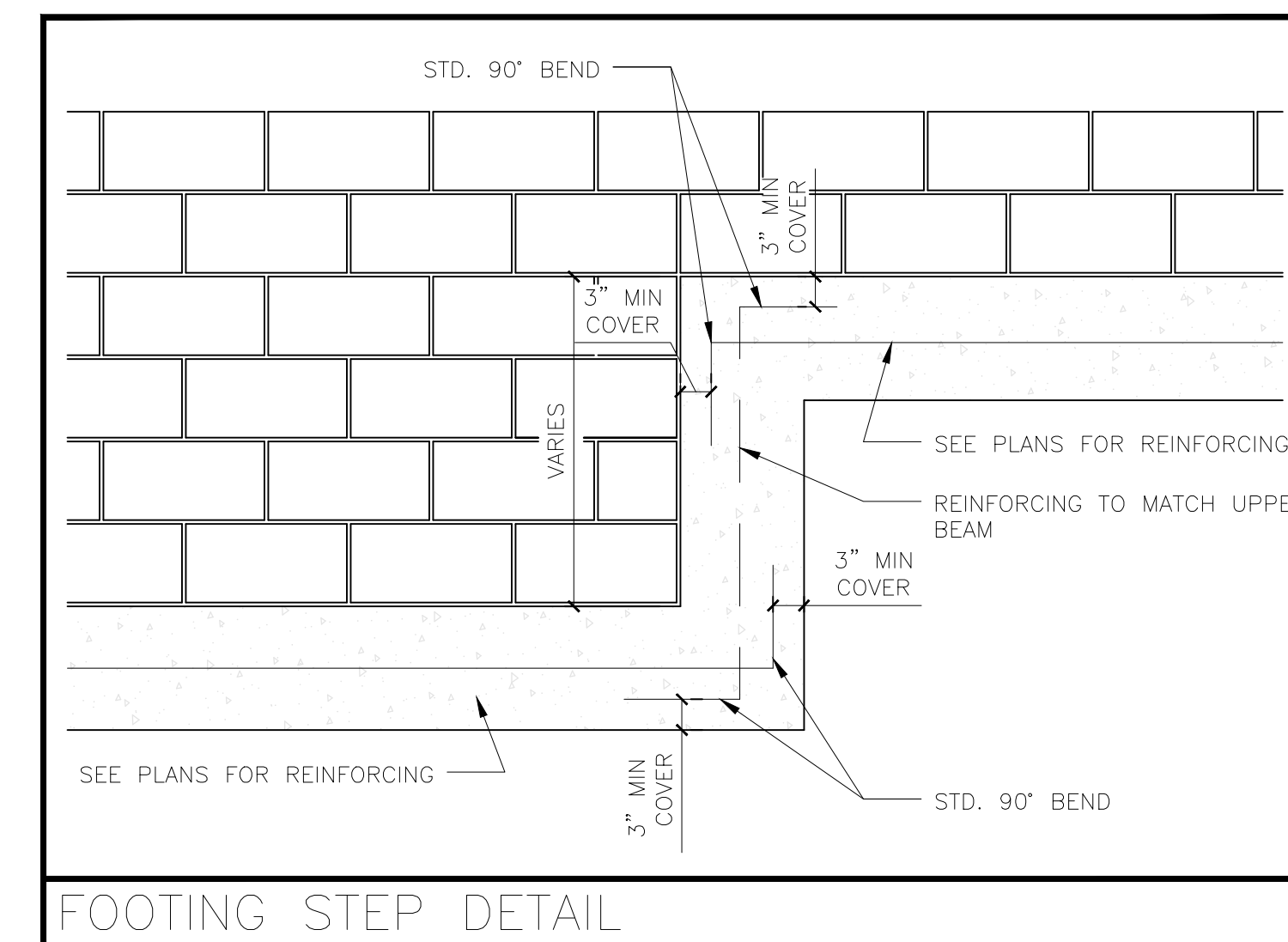
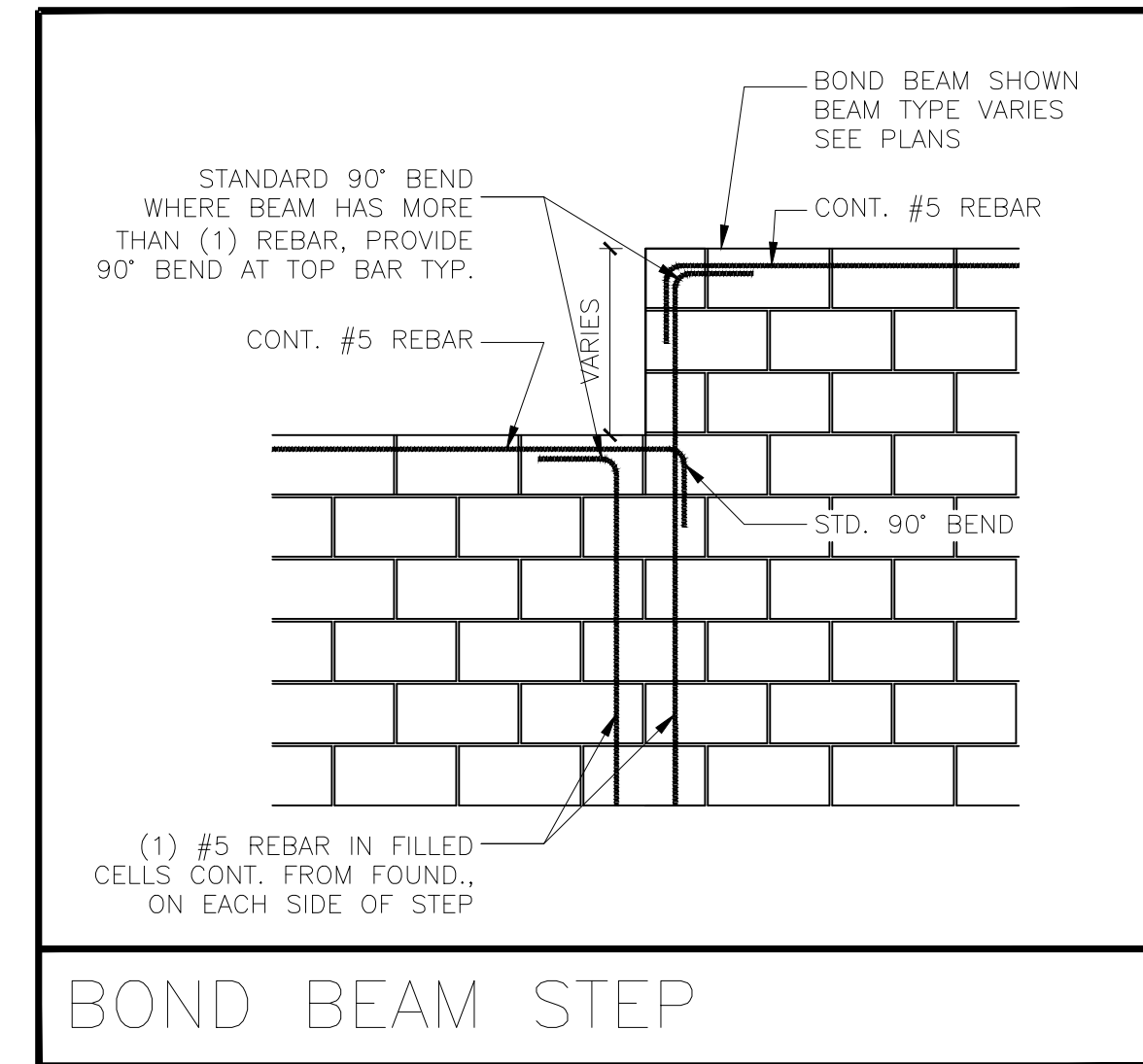
- 8.1. ALL PLANTINGS AND IRRIGATION/SPRINKLER SYSTEMS AND RISERS FOR SPRAY HEADS SHALL BE AT LEAST 1'-0" FROM BUILDING SIDEWALLS.
- 8.2. SOIL TREATMENT FOR TERMITES SHALL MEET THE REQUIREMENTS OF FBC SECTION R320. SENTRICON SHALL BE USED.
- 8.3. WOOD GRADE STAKES SHALL NOT BE USED.
- 8.4. PROTECTION AGAINST DECAY AND TERMITES SHALL BE PROVIDED IN ACCORDANCE WITH FBC SECTIONS R317 AND R318.
- 8.5. ROOF FLASHING SHALL BE PROVIDED IN ACCORDANCE WITH THE REQUIREMENTS OF FBC SECTIONS R703.7.5, R703.8, R903.2 AND R905.

9. 10. GENERAL CONNECTIONS NOTES

- 9.1. CONNECTIONS SHOWN ARE RECOMMENDED, BUT OTHER CONNECTORS MAY BE SUBSTITUTED AS LONG AS THEY MEET OR EXCEED UPLIFTS AND LATERAL CAPACITY OF THE ANCHORS SPECIFIED AND SATISFY TRUSS LAYOUT REQUIREMENTS COMPLIANCE WITH USP, SIMPSON OR OTHER MANUFACTURER'S REQUIREMENTS.
- 9.2. FOR ADDITIONAL TIE DOWN INFORMATION, SEE SIMPSON OR USP CATALOGS.
- 9.3. FOR POST-INSTALLED ANCHORS: HOLE PREPARATION, CARTRIDGE PREPARATION, AND EPOXY FILLING SHALL BE PERFORMED PER MANUFACTURER'S ADHESIVE ANCHOR INSTALLATION INSTRUCTIONS.
- 9.4. AN EPOXY INSPECTION MAY BE REQUIRED DEPENDING ON JURISDICTION. CONTRACTOR MUST VERIFY.

10. WATERPROOFING NOTES

- 10.1. ALL FLASHING AND WATERPROOFING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.



Digitally signed by
Nicola M Johnson
Date: 2022.07.15
14:05:47 -04'00'

City of Tampa
CONSTRUCTION SERVICES DIVISION

Rev.	Date	By	Remarks
1	06.08.2022	AR	FOR PERMIT
2	07.15.2022	AR	FOR PERMIT
3			It is unlawful to make changes or alterations without written approval of the City of Tampa.
4			Changes to this plan shall not be made without the approval of the City of Tampa.
5			The Stamp of this plan shall not be used to permit or approve the violation of any City or State Code.
6			Approval for Code Compliance
7			
8			
9			
10			

AR ARCONIAL ARCHITECTURE, LLC
1211 Tech Boulevard - Suite 134, Tampa, FL 33619
Phone: 813-291-2916 Fax: 813-283-0056
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Kid Mason Community Center
1101 N Jefferson Street
Tampa, FL 33602
City of Tampa

STATE OF FLORIDA
NICOLA M. JOHNSON
AR 96612
07.15.2022
REGISTERED ARCHITECT

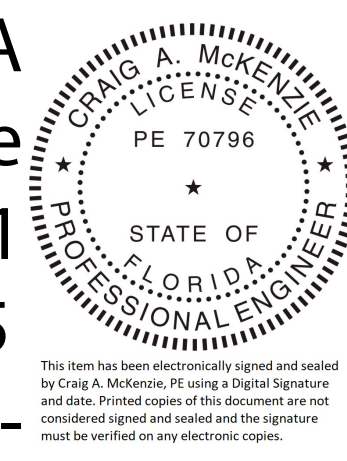
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Plan Date: 07/15/2022
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ENGINEERED DESIGN SERVICES LLC
560 VILLAGE BLVD, SUITE 260
WEST PALM BEACH, FL 33409
(813) 816-0301
WWW.EDSENGINEERS.COM
CONTACT@EDSENGINEERS.COM

CITY OF TAMPA, FL
KID MASON COMMUNITY CENTER
MECHANICAL PLAN

Craig A McKenzie
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No.	Description	Date
1	Revision 1	6/8/22
2	Revision 2	7/15/22

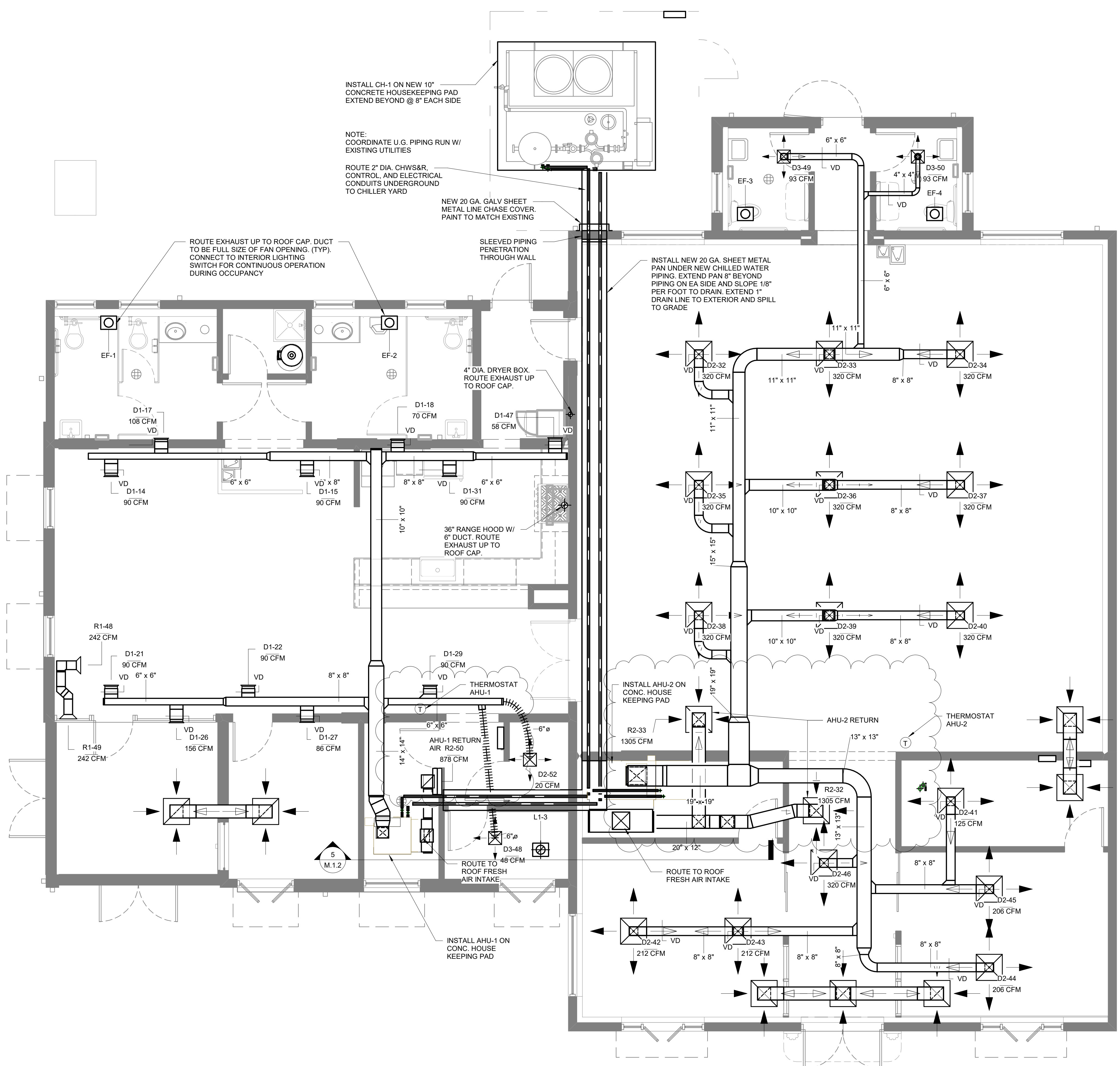
Project number	20-110
Date	8/26/21
Drawn by	CAM
Checked by	---

M.1.1

Scale 1/4" = 1'-0"

MECHANICAL GENERAL NOTES

- MECHANICAL CONTRACTOR SHALL CONFIRM SIZE CONSTRAINTS EXISTING ON SITE PRIOR TO FABRICATION OF ANY DUCT WORK. IF CONDITIONS EXIST THAT PROHIBIT DESIGNED LAYOUT FROM WORKING, THEN NOTIFY ARCHITECT FOR PROPER COURSE OF ACTION IMMEDIATELY. CONTRACTOR SHALL ENSURE 10'-0" CLEARANCE IS MAINTAINED ON ALL INTAKE AND EXHAUST SYSTEMS.
- MECHANICAL CONTRACTOR MUST FIELD COORDINATE ALL DUCTWORK CLEARANCES WITH WOOD JOIST AND STEEL TRUSS STRUCTURE IN FIELD BEFORE FABRICATION OF ANY DUCTWORK.
- DUCT WRAP/ASJ INSULATION (ON ALL SUPPLY AND MAKE-UP AIR DUCTWORK): PROVIDE 2" THICK FIBERGLASS ASJ DUCT WRAP WITH VAPOR SEAL ON ALL SUPPLY AIR AND MAKE-UP AIR DUCTWORK ABOVE THE CEILING. CONFORM TO FEDERAL SPEC. HH-1-5588 (AMMEN. 3) TYPE 75, FORM B, TYPE 1, CLASS B-2
- RIGID ROUND GALVANIZED DUCT SHALL BE SPIRAL OR SNAP LOCK GALVANIZED SHEETMETAL COMPLYING WITH SMACNA. (SNAP LOCK IS NOT ALLOWED IN THE DINING AREA.)
- FLEX DUCT: PROVIDE FACTORY ASSEMBLED CLASS 1 AIR DUCT (UL WITH 1" THICK 1 PCF FIBERGLASS INSULATION AND REINFORCED OUTER PROTECTIVE COVER OR VAPOR BARRIER. FLEX DUCT SHALL MEET NFPA 90A WITH FLAME SPREAD UNDER 25, SMOKE DEVELOPED UNDER 50, AND SHALL BE RATED FOR 2" W.G. PRESSURE AND 0 TO 250 DEGREE FAHRENHEIT. PROVIDE METAL ADJUSTABLE CLAMPING DEVICES. SCREW OPERATED. USE TWIST-LOCK CONICAL TAP COLLARS AT CONNECTIONS INTO SHEET METAL DUCTWORK. DO NOT EXCEED FIVE (5) FEET IN LENGTH FOR ANY FLEX DUCT.
- PROVIDE SHEET METAL PLENUMS ONLY W/ EXTERNAL RIGID BOARD INSULATION: PLENUM ENCLOSURE CONSTRUCTION MATERIALS THAT ARE EXPOSED TO THE AIRFLOW SHALL COMPLY WITH THE REQUIREMENTS OF SECTION 703.5 OF THE FLORIDA BUILDING CODE, BUILDING OR SUCH MATERIALS SHALL HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE-DEVELOPED INDEX OF NOT MORE THAN 50 WHEN TESTED IN ACCORDANCE WITH ASTM E84 OR UL 723.
- ROUND BALANCING DAMPERS: FABRICATED OF SAME MATERIAL AS DUCT, TWO METAL GAUGES HEAVIER THAN DUCT. MOUNT ON 3/8" SQUARE ROD WITH SAW SLOT POSITION INDICATOR. PIVOT BEARING, LOCKING POSITION REGULATOR, YOUNG REGULATOR CO., SERIES REGULATOR SHALL BE POSITIONED WITH SHEETMETAL BRACKET BEYOND DUCT CONVERGING.
- CEILING DIFFUSERS/RETURNS: PROVIDE SUPPLY DIFFUSERS AND DAMPER IN SIZES, CAPACITIES, MATERIALS, AND PATTERN INDICATED ON THE DRAWINGS.
- PROVIDE WHERE APPLICABLE, DUCT MOUNTED SUPPLY AND/OR RETURN AIR PHOTOELECTRIC TYPE UL LISTED SMOKE DETECTORS. DETECTORS SHALL HAVE TWO FORM C CONTACTS. CONTACT ONE FOR POWER, CONTACT TWO FOR FIRE ALARM. DETECTORS SHALL BE LISTED FOR THE AIR VELOCITIES ENCOUNTERED.
- ROOF PENETRATIONS SHALL COMPLY WITH SMACNA AND NRCA STANDARDS.
- TEST AND ADJUST EACH PIECE OF EQUIPMENT AND EACH SYSTEM AS REQUIRED TO ASSURE PROPER BALANCE AND OPERATION. TEST SHALL BE PER NEEBB OR AABC, AND ASHRAE STANDARDS. ELIMINATE NOISE AND VIBRATION, AND ASSURE PROPER FUNCTION OF ALL CONTROLS. MAINTENANCE OF TEMPERATURE, AND OPERATION. BALANCE MECHANICAL SYSTEM, AND SUBMIT COMPLETED TEST REPORT TO CONSTRUCTION MANAGER. PRIOR TO REQUEST FOR FINAL PAYMENT. BALANCING CONTRACTOR MAY BE AN INDEPENDENT CERTIFIED TEST AND BALANCE CONTRACTOR, NEBB OR AABC OR THE HVAC CONTRACTOR WITH AIR BALANCE EXPERIENCE AND PROPER EQUIPMENT.
- OWNER SHALL HAVE FIRST SALVAGE RIGHTS TO ALL DEMOLISHED HVAC EQUIPMENT AND COMPONENTS.
- HYDRONIC PIPING: ASTM A53 OR A120, SCHEDULE 40 BLACK STEEL.
- THE KITCHEN WILL ONLY BE USED FOR BASIC COOKING CLASSES, THEREFOR A RESIDENTIAL HOOD WILL BE SUFFICIENT. THE HVAC SYSTEM IS DESIGNED FOR THE ASSOCIATED HEAT LOAD.



INSTALL CH-1 ON NEW 10" CONCRETE HOUSEKEEPING PAD EXTEND BEYOND @ 8" EACH SIDE

NOTE: COORDINATE U.G. PIPING RUN W/ EXISTING UTILITIES

ROUTE 2" DIA. CHWS&R, CONTROL, AND ELECTRICAL CONDUITS UNDERGROUND TO CHILLER YARD

NEW 20 GA. GALV SHEET METAL LINE CHASE COVER. PAINT TO MATCH EXISTING

ROUTE EXHAUST UP TO ROOF CAP. DUCT TO BE FULL SIZE OF FAN OPENING. (TYP.) CONNECT TO INTERIOR LIGHTING SWITCH FOR CONTINUOUS OPERATION DURING OCCUPANCY

SLEEVED PIPING PENETRATION THROUGH WALL

INSTALL NEW 20 GA. SHEET METAL PAN UNDER NEW CHILLED WATER PIPING. EXTEND PAN 8" BEYOND PIPING ON EA SIDE AND SLOPE 1/8" PER FOOT TO DRAIN. EXTEND 1" DRAIN LINE TO EXTERIOR AND SPILL TO GRADE

4" DIA. DRYER BOX. ROUTE EXHAUST UP TO ROOF CAP.

36" RANGE HOOD W/ 6" DUCT. ROUTE EXHAUST UP TO ROOF CAP.

INSTALL AHU-2 ON CONC. HOUSE KEEPING PAD

INSTALL AHU-1 ON CONC. HOUSE KEEPING PAD

5 M.1.2

ENGINEERED DESIGN SERVICES LLC
560 VILLAGE BLVD, SUITE 260
WEST PALM BEACH, FL 33409
(813) 816-0301
WWW.EDSENGINEERS.COM
CONTACT@EDSENGINEERS.COM

CITY OF TAMPA, FL
KID MASON COMMUNITY CENTER
MECHANICAL DETAILS

Craig A
McKenzie
2022.07.15
11:30:06
'00'04-

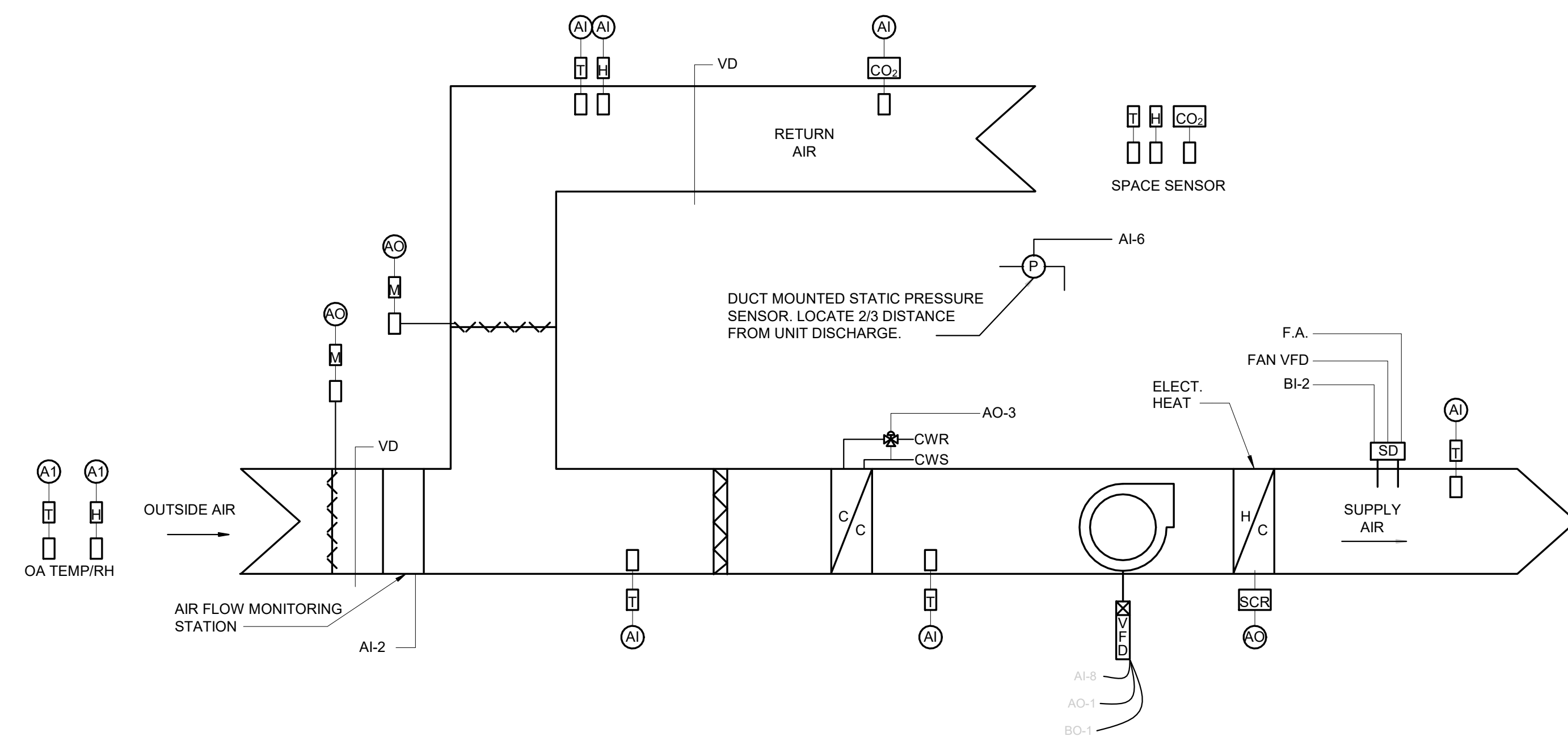
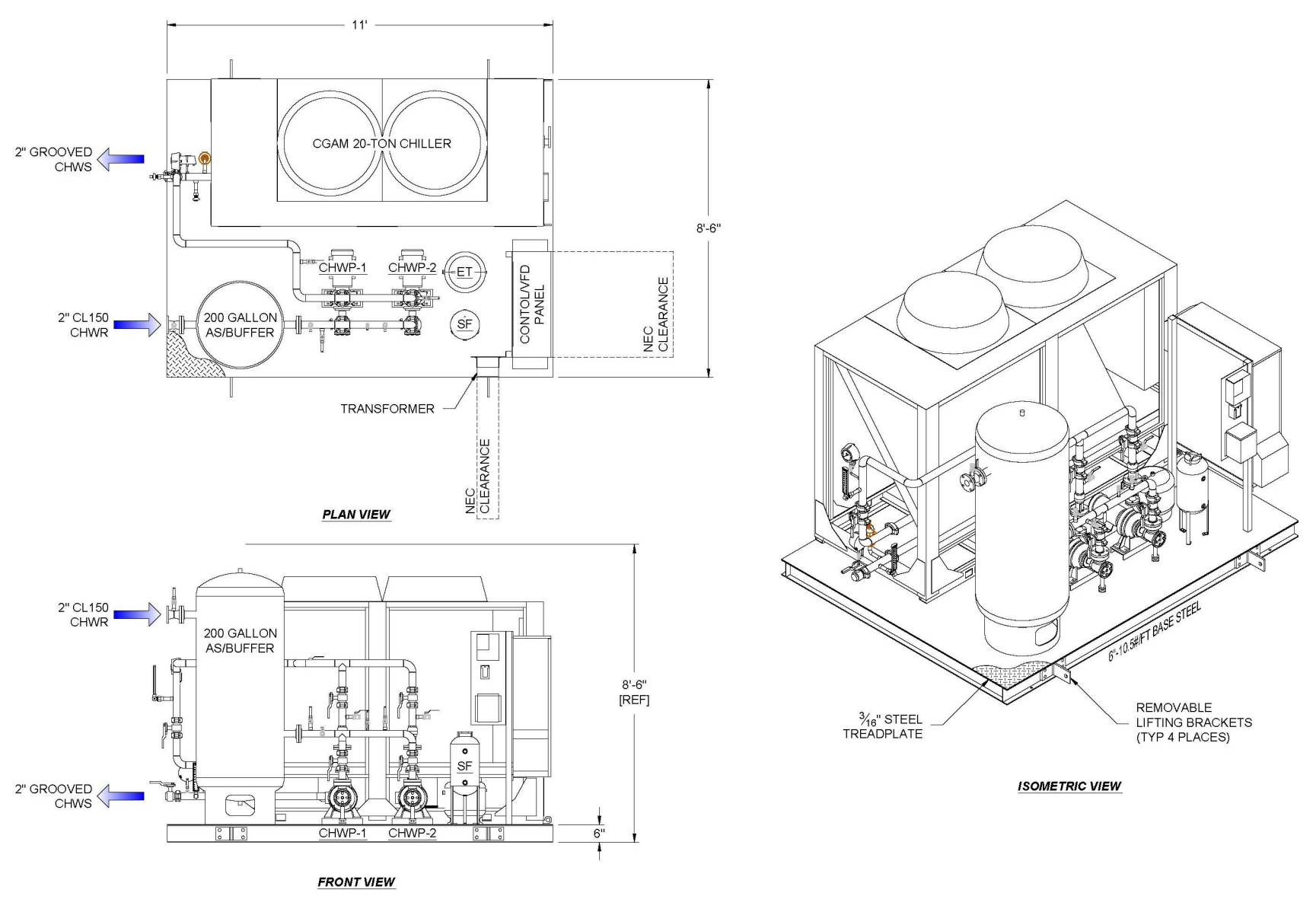
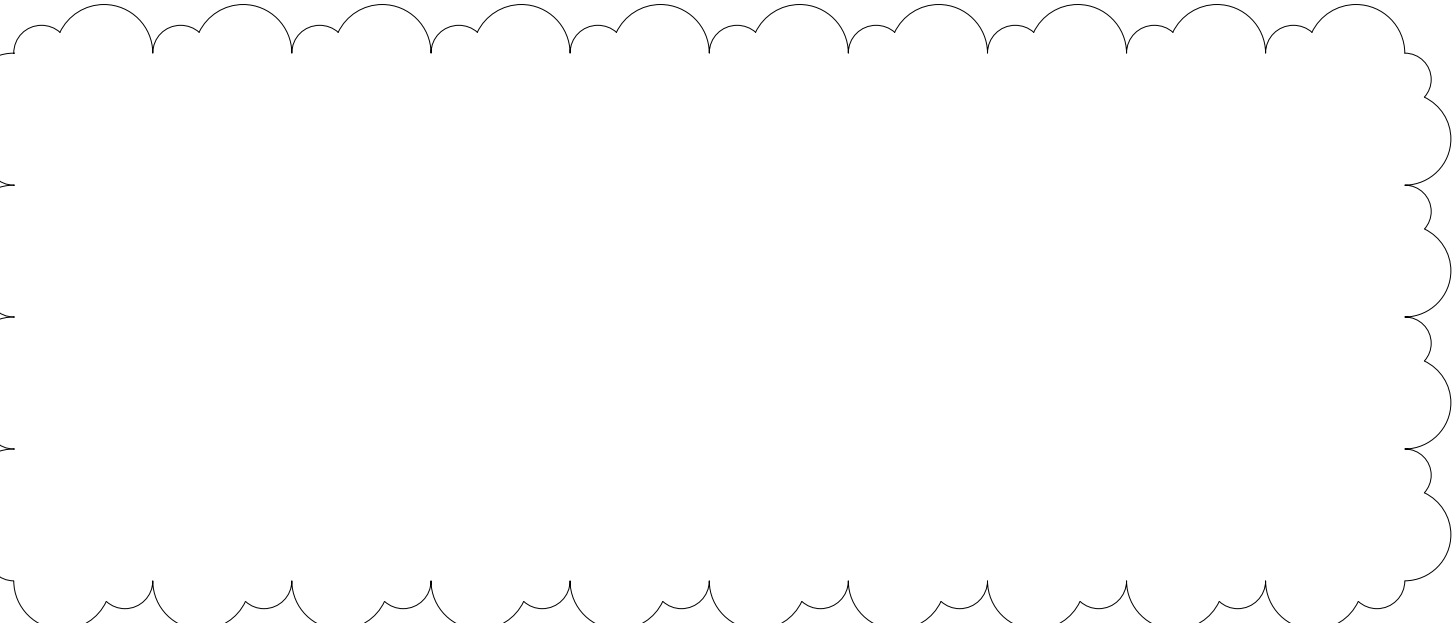
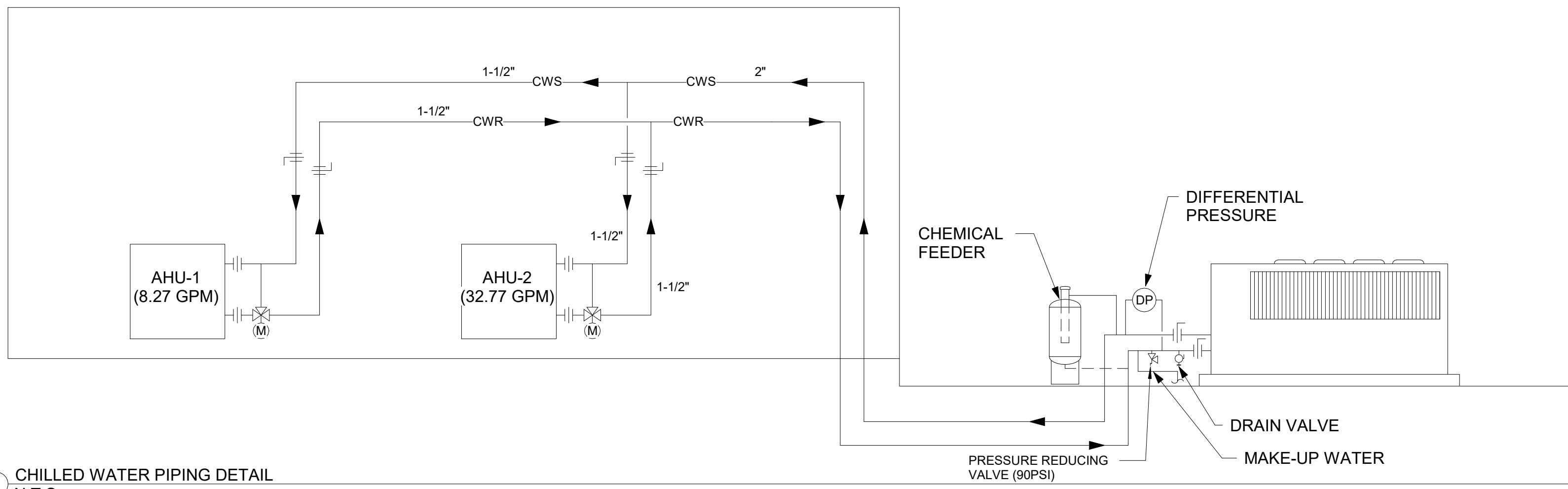
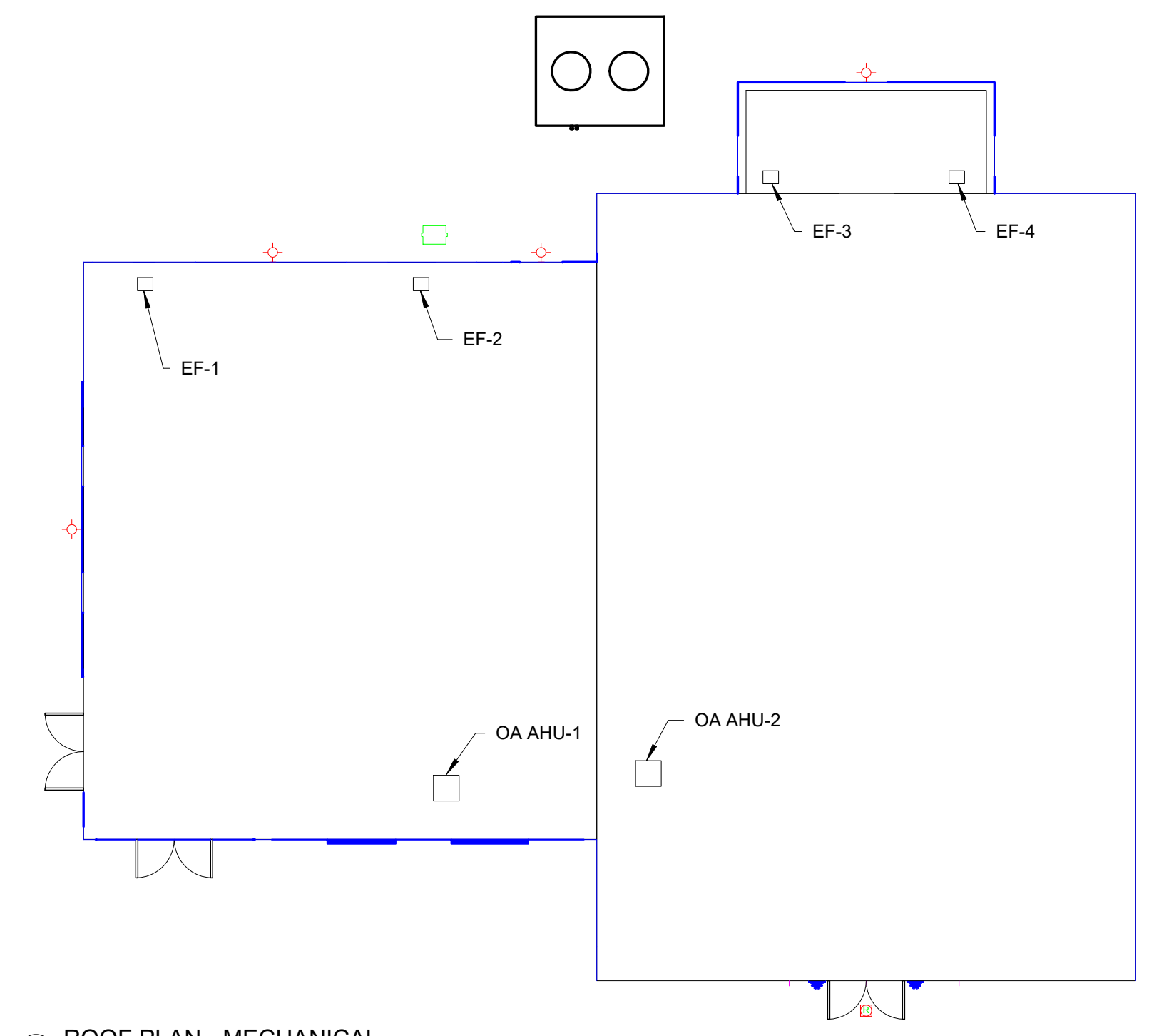
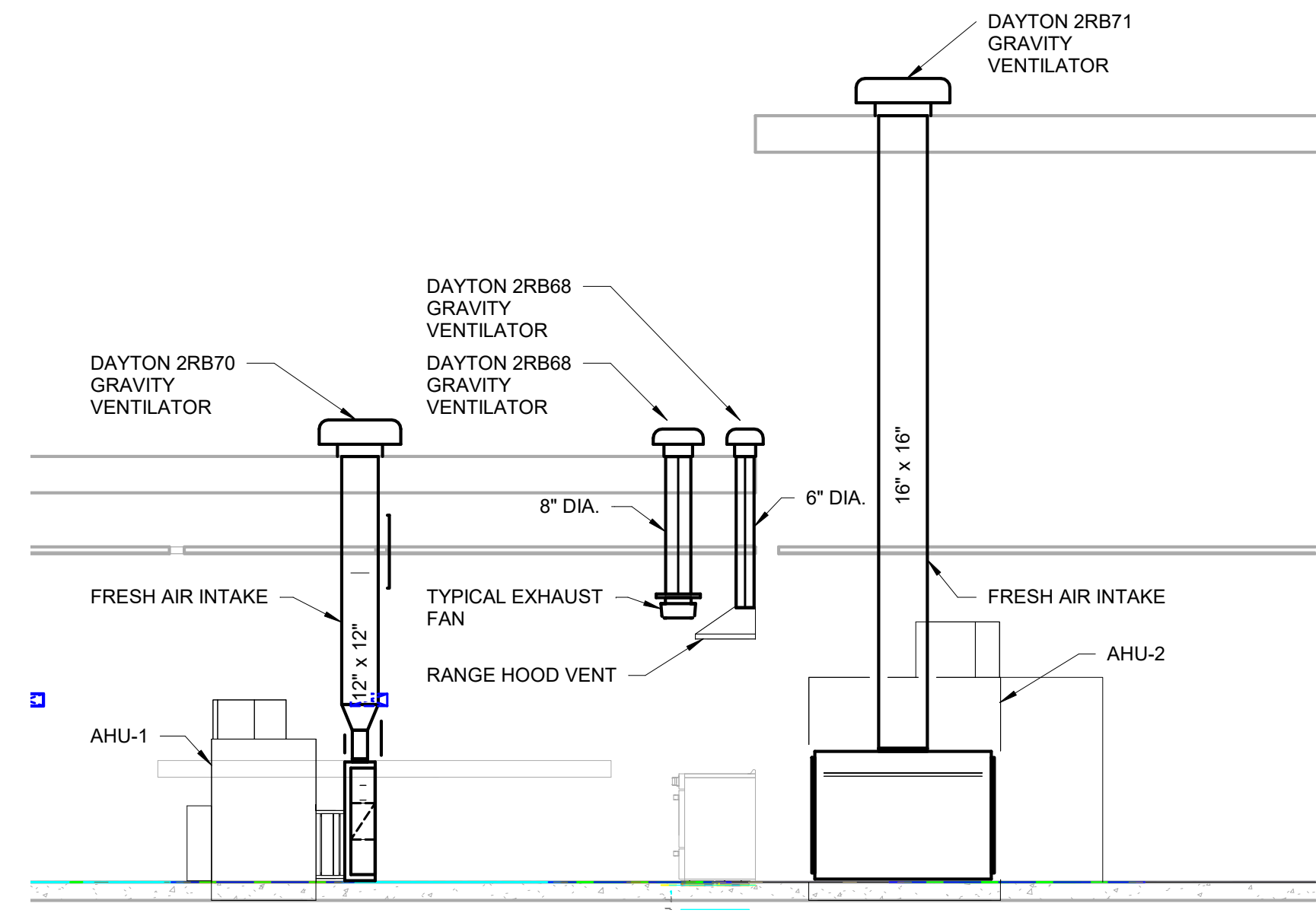
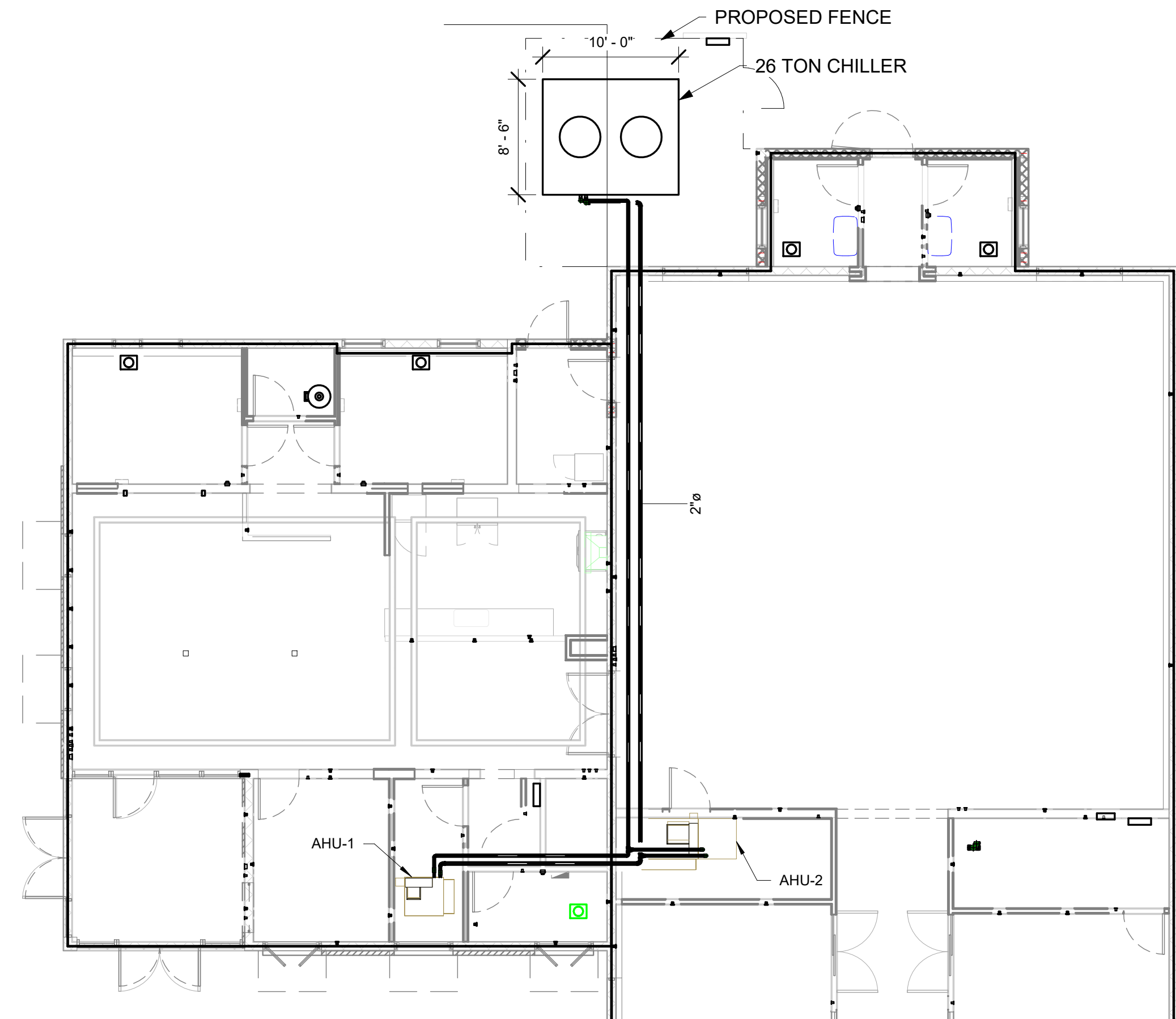
PE Seal: [Professional Engineer Seal for Craig A. McKenzie, License PE 70796, State of Florida]

No.	Revision	Description	Date
1	Revision 1		6/8/22
2	Revision 2		7/15/22

Project number	20-110
Date	8/26/21
Drawn by	Author
Checked by	Checker

M.1.2

Scale As indicated



ENGINEERED DESIGN SERVICES LLC
560 VILLAGE BLVD, SUITE 260
WEST PALM BEACH, FL 33409
(813) 816-0301
WWW.EDSENGINEERS.COM
CONTACT@EDSENGINEERS.COM

CITY OF TAMPA, FL
KID MASON COMMUNITY CENTER

LIGHTING PLAN

Craig A. McKenzie
2022.07.15
'00'04- 11:39:19
PE 70796
STATE OF FLORIDA
PROFESSIONAL ENGINEER
This item has been electronically signed and sealed by Craig A. McKenzie, PE using a Digital Signature and date. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

No.	Revision	Description	Date
1	Revision 1		6/8/22
2	Revision 2		7/15/22

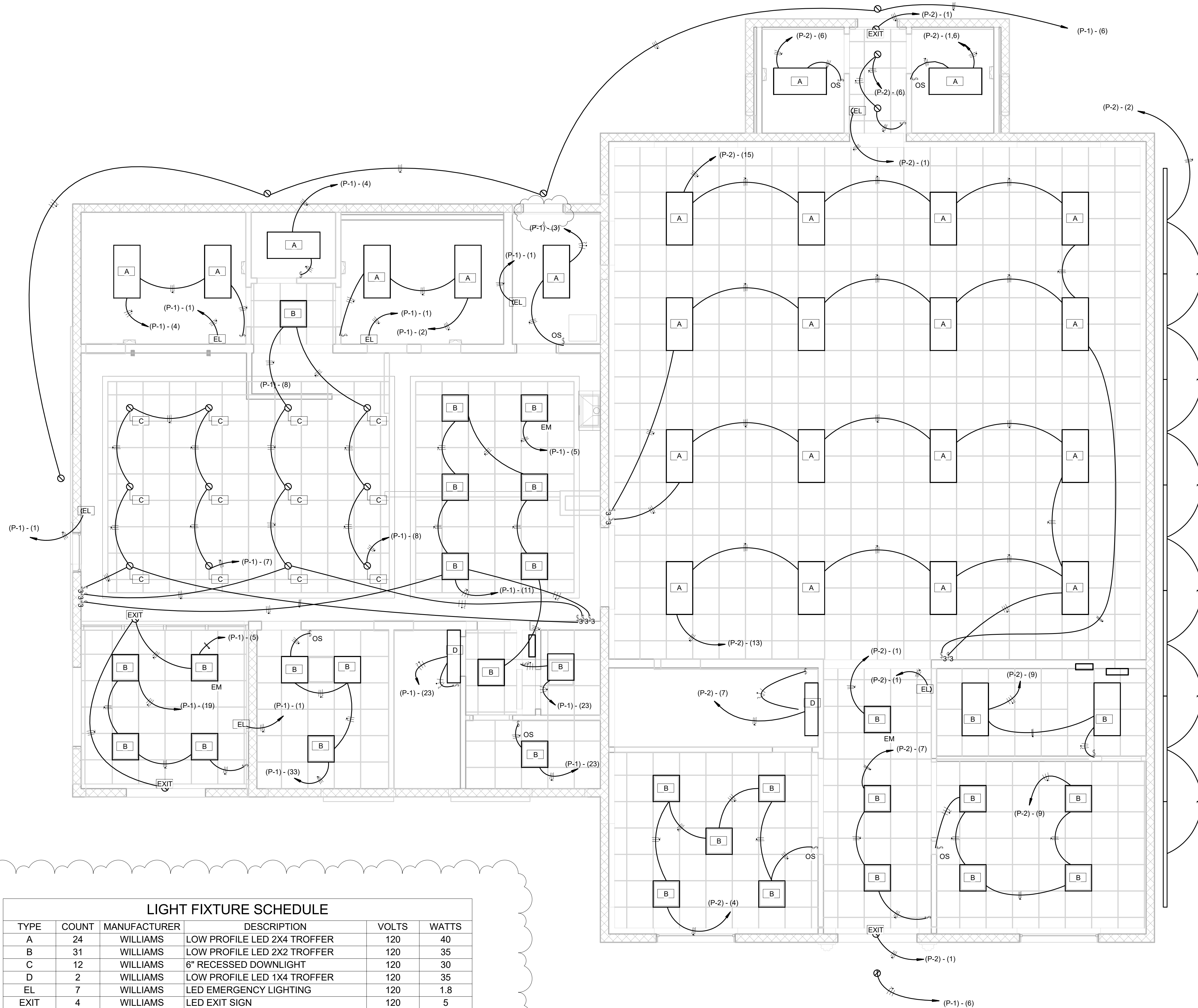
Project number 20-110
Date 8/26/21
Drawn by CAM
Checked by --

E.1.2

Scale 1/4" = 1'-0"

ELECTRICAL GENERAL NOTES

1. THE SYSTEM DESIGN IS BASED ON NEC 2017 AND THE FLORIDA BUILDING CODE, 7TH EDITION (2020)
2. COORDINATE EXACT LOCATIONS OF EQUIPMENT WITH ARCHITECTURAL DRAWINGS. VERIFY EXACT WIRING AND CONNECTION REQUIREMENTS WITH SUBMITTAL DOCUMENTS BEFORE INSTALLATION.
3. REFER TO ARCHITECTURAL ELEVATIONS FOR OUTLET MOUNTING HEIGHTS.
4. ALL CONDUITS IN AREAS WITHOUT SUSPENDED CEILINGS SHALL BE RUN INCONSPICUOUSLY AS POSSIBLE, HIDDEN BEHIND BEAMS, CLOSE TO DECK, ETC.
5. ALL DEVICES SHOWN ON THE EXTERIOR OF THE BUILDING SHALL BE WEATHERPROOF TYPE.
6. PROVIDE ALL FINAL POWER CONNECTIONS TO EQUIPMENT. PROVIDE ALL CONDUIT, DEVICE BOXES, AND CONTROL WIRING TO EQUIPMENT UNLESS NOTED OTHERWISE.
7. ALL EXTERNAL OUTLETS SHALL BE MOUNTED HORIZONTALLY.
8. ALL BRANCH CIRCUITS SHALL HAVE A SEPARATE NEUTRAL CONDUCTOR FOR EACH PHASE CONDUCTOR.
9. EXTERIOR LIGHTS SHALL BE CONTROLLED WITH AN INTERMATIC 8000 SERIES 7 DAY ASTRONOMIC SCHEDULE PROGRAMMABLE TIMER.
10. PROVIDE MINIMUM 90 MINUTE BATTERY BACKUP TO EXTERIOR LIGHTING, ONE BACKUP INVERTER PER FIXTURE, BODINE ELI-S-10C OR EQUIVALENT.



LIGHT FIXTURE SCHEDULE

TYPE	COUNT	MANUFACTURER	DESCRIPTION	VOLTS	WATTS
A	24	WILLIAMS	LOW PROFILE LED 2X4 TROFFER	120	40
B	31	WILLIAMS	LOW PROFILE LED 2X2 TROFFER	120	35
C	12	WILLIAMS	6" RECESSED DOWNLIGHT	120	30
D	2	WILLIAMS	LOW PROFILE LED 1X4 TROFFER	120	35
EL	7	WILLIAMS	LED EMERGENCY LIGHTING	120	1.8
EXIT	4	WILLIAMS	LED EXIT SIGN	120	5



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560 VILLAGE BLVD, SUITE 260
WEST PALM BEACH, FL 33409
(813) 816-0301
WWW.EDSENGINEERS.COM
CONTACT@EDSENGINEERS.COM

CITY OF TAMPA, FL
KID MASON COMMUNITY CENTER
ELECTRICAL PANEL AND RISER DIAGRAM

Craig A McKenzie
2022.07.11 11:38:16 5 '00'04-
Professional Engineer License 70796
STATE OF FLORIDA
PROFESSIONAL ENGINEER

No.	Description	Date
1	Revision 1	6/8/22
2	Revision 2	7/15/22

Project number 20-110
Date 8/26/21
Drawn by CAM
Checked by ---
E.1.3
Scale 1/2" = 1'-0"

Branch Panel: P-1
Location: Learning Lab 1
Supply From: MDP
Mounting: Surface
Enclosure: Type 1
Volts: 120/208 Wye
Phases: 3
Wires: 4
A.I.C. Rating:
Mains Type:
Mains Rating: 600 A
MCB Rating: 200 A

Notes:

CKT	Circuit Description	Trip	Poles	A	B	C	Poles	Trip	Circuit Description	CKT	
1	Emergency Lighting	20 A	1	25 VA	192 VA		1	20 A	Lighting	2	
3	Lighting	20 A	1		96 VA	288 VA	1	20 A	Lighting	4	
5	Emergency Lighting	20 A	1			134 VA	300 VA	1	20 A	Lighting - Exterior	6
7	Lighting	20 A	1	360 VA	422 VA			1	20 A	Lighting	8
9	Receptacle Space 3	20 A	1		720 VA	480 VA		1	20 A	Water Coolers	10
11	Lighting	20 A	1			372 VA	540 VA	1	20 A	Receptacle	12
13	Receptacle Room 1, 3	20 A	1	720 VA	950 VA			1	20 A	Hand Dryers	14
15	Ice Machine	20 A	1		1000...	1080...		1	20 A	Receptacle Space 1	16
17	AHU-1 Controls	20 A	1			750 VA	900 VA	1	20 A	Receptacle	18
19	Lighting	20 A	1	186 VA	950 VA			1	20 A	Hand Dryers	20
21	Receptacle	20 A	1		1440...	1920...		1	20 A	Dedicated Power - Communications/Data	22
23	Lighting	20 A	1			188 VA	950 VA	1	20 A	Hand Dryers	24
25	Water Heater	30 A	2	2250...	6240...			2	40 A	Electric Washer/Dryer	26
27	--	--	--		2250...	0 VA		--	--	--	28
29	Electric Range - 3.5 kW to 8.75 kW Space 1	50 A	2			8320...	1000...	1	20 A	Refrigerator	30
31	--	--	--	0 VA	1000...			1	20 A	Kitchen Receptacle 1	32
33	Lighting	20 A	1		186 VA	950 VA		1	20 A	Hand Dryers	34
35	--	--	--				4860...				36
37	--	--	--		4860...			--	--	--	38
39	Kitchen Receptacle 2	20 A	1		1000...	4860...		--	--	--	40
41	--	--	--					--	--	--	42
Total Load:				17729 VA	15865 VA	18267 VA					
Total Amps:				150 A	132 A	155 A					

Legend:

Load Classification	Connected Load	Demand Factor	Estimated Demand	Panel Totals
Electric Clothes Dryer	6240 VA	100.00%	6240 VA	
Electric Range - 3.5 kW to 8.75 kW	8320 VA	100.00%	8320 VA	Total Conn. Load: 51824 VA
Lighting - Exterior	300 VA	125.00%	375 VA	Total Est. Demand: 51897 VA
Other	18380 VA	100.00%	18380 VA	Total Conn.: 144 A
Receptacle	5400 VA	100.00%	5400 VA	Total Est. Demand: 144 A
Appliance	6217 VA	100.00%	6217 VA	

Notes:

Branch Panel: P-2
Location: Storage 2 12
Supply From: MDP
Mounting: Surface
Enclosure: Type 1
Volts: 120/208 Wye
Phases: 3
Wires: 4
A.I.C. Rating:
Mains Type:
Mains Rating: 400 A
MCB Rating: 175 A

Notes:

CKT	Circuit Description	Trip	Poles	A	B	C	Poles	Trip	Circuit Description	CKT	
1	Emergency Lighting	20 A	1	82 VA	224 VA		1	20 A	Lighting - Exterior	2	
3	Receptacle Space 11	20 A	1		180 VA	310 VA		1	20 A	Lighting	4
5	Receptacle Space 11	20 A	1			180 VA	312 VA	1	20 A	Lighting	6
7	Lighting	20 A	1	188 VA	540 VA			1	20 A	Receptacle Room 11, 2	8
9	Lighting	20 A	1		440 VA	720 VA		1	20 A	Receptacle Space 2	10
11	Water Coolers	20 A	1			480 VA	750 VA	1	20 A	AHU-2 Control	12
13	Lighting	20 A	1	768 VA	900 VA			1	20 A	Receptacle Space 2	14
15	Lighting	20 A	1		768 VA	950 VA		1	20 A	Hand Dryer	16
17	Hand Dryer	20 A	1			950 VA	1000...	1	20 A	Fire Alarm	18
19	Outdoor Receptacle	20 A	1	1920...	1118...			3	100 A	AHU-2	20
21	Receptacle Room 10, 2	20 A	1		1440...	1118...		--	--	--	22
23	Security Alarm	20 A	1			1000...	1118...	--	--	--	24
25	--	--	--					--	--	--	26
27	--	--	--					--	--	--	28
29	--	--	--					--	--	--	30
31	--	--	--					--	--	--	32
33	--	--	--					--	--	--	34
35	--	--	--					--	--	--	36
37	--	--	--					--	--	--	38
39	--	--	--					--	--	--	40
41	--	--	--					--	--	--	42
Total Load:				15750 VA	15925 VA	15843 VA					
Total Amps:				131 A	133 A	132 A					

Legend:

Load Classification	Connected Load	Demand Factor	Estimated Demand	Panel Totals
Lighting - Exterior	224 VA	125.00%	280 VA	
Other	35459 VA	100.00%	35459 VA	Total Conn. Load: 47516 VA
Receptacle	3960 VA	100.00%	3960 VA	Total Est. Demand: 47570 VA
				Total Conn.: 132 A
				Total Est. Demand: 132 A

Notes:

Branch Panel: MDP
Location: Storage 2 12
Supply From: MDP
Mounting: Surface
Enclosure: Type 1
Volts: 120/208 Wye
Phases: 3
Wires: 4
A.I.C. Rating:
Mains Type:
Mains Rating: 600 A
MCB Rating: 600 A

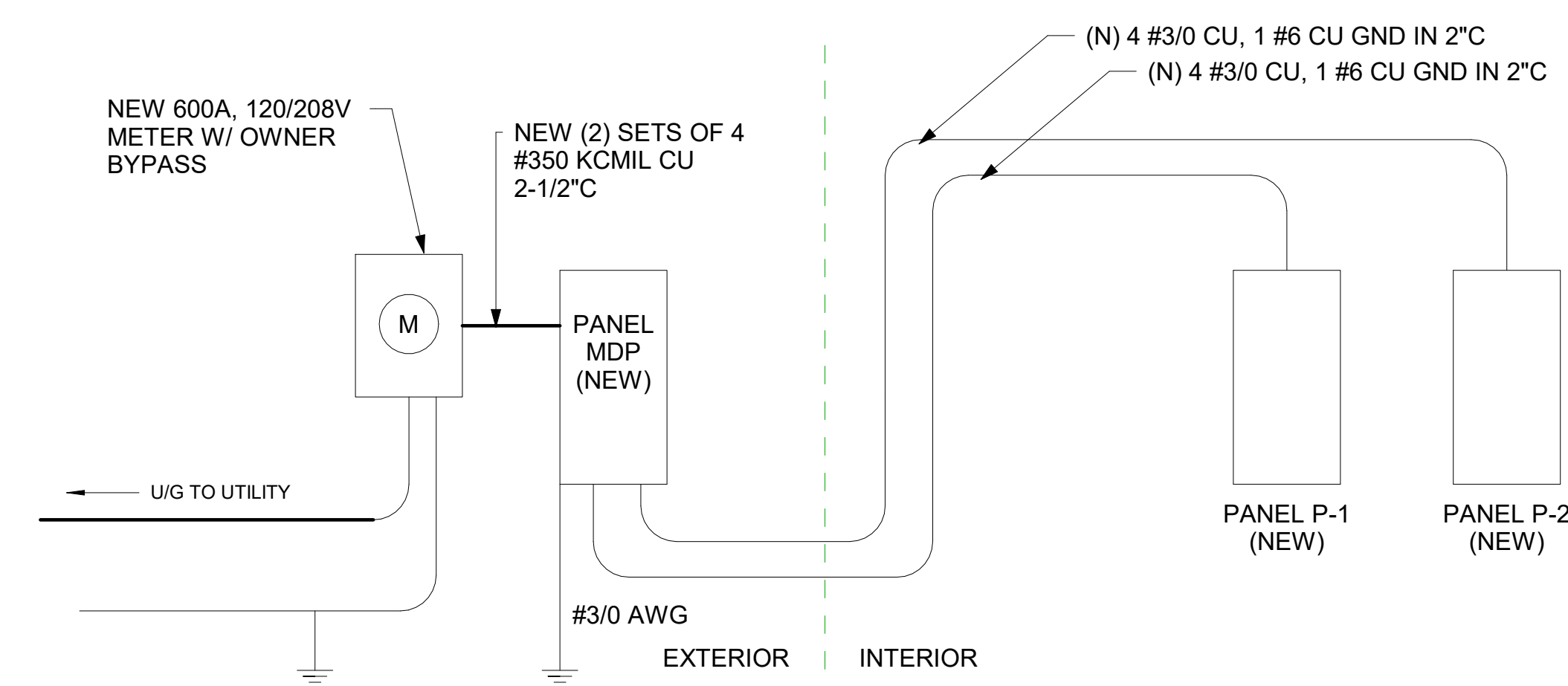
Notes:

CKT	Circuit Description	Trip	Poles	A	B	C	Poles	Trip	Circuit Description	CKT	
1	Panel 1	200 A	3	1772...	1575...		3	175 A	Panel 2	2	
3	--	--	--		1586...	1592...		--	--	4	
5	--	--	--			1826...	1584...	--	--	6	
7	Chiller	200 A	3	1801...				--	--	8	
9	--	--	--		1801...			--	--	10	
11	--	--	--			1801...		--	--	12	
13	--	--	--					--	--	14	
15	--	--	--					--	--	16	
17	--	--	--					--	--	18	
19	--	--	--					--	--	20	
21	--	--	--					--	--	22	
23	--	--	--					--	--	24	
25	--	--	--					--	--	26	
27	--	--	--					--	--	28	
29	--	--	--					--	--	30	
31	--	--	--					--	--	32	
33	--	--	--					--	--	34	
35	--	--	--					--	--	36	
37	--	--	--					--	--	38	
39	--	--	--					--	--	40	
41	--	--	--					--	--	42	
Total Load:				49517 VA	47866 VA	49797 VA					
Total Amps:				415 A	399 A	417 A					

Legend:

Load Classification	Connected Load	Demand Factor	Estimated Demand	Panel Totals
Electric Clothes Dryer	6240 VA	100.00%	6240 VA	
Electric Range - 3.5 kW to 8.75 kW	8320 VA	100.00%	8320 VA	Total Conn. Load: 147153 VA
Lighting - Exterior	524 VA	125.00%	655 VA	Total Est. Demand: 159863 VA
Motor	54039 VA	125.00%	67549 VA	Total Conn.: 408 A
Other	53839 VA	100.00%	53839 VA	Total Est. Demand: 444 A
Receptacle	9360 VA	100.00%	9360 VA	
Appliance	6217 VA	100.00%	6217 VA	

Notes:

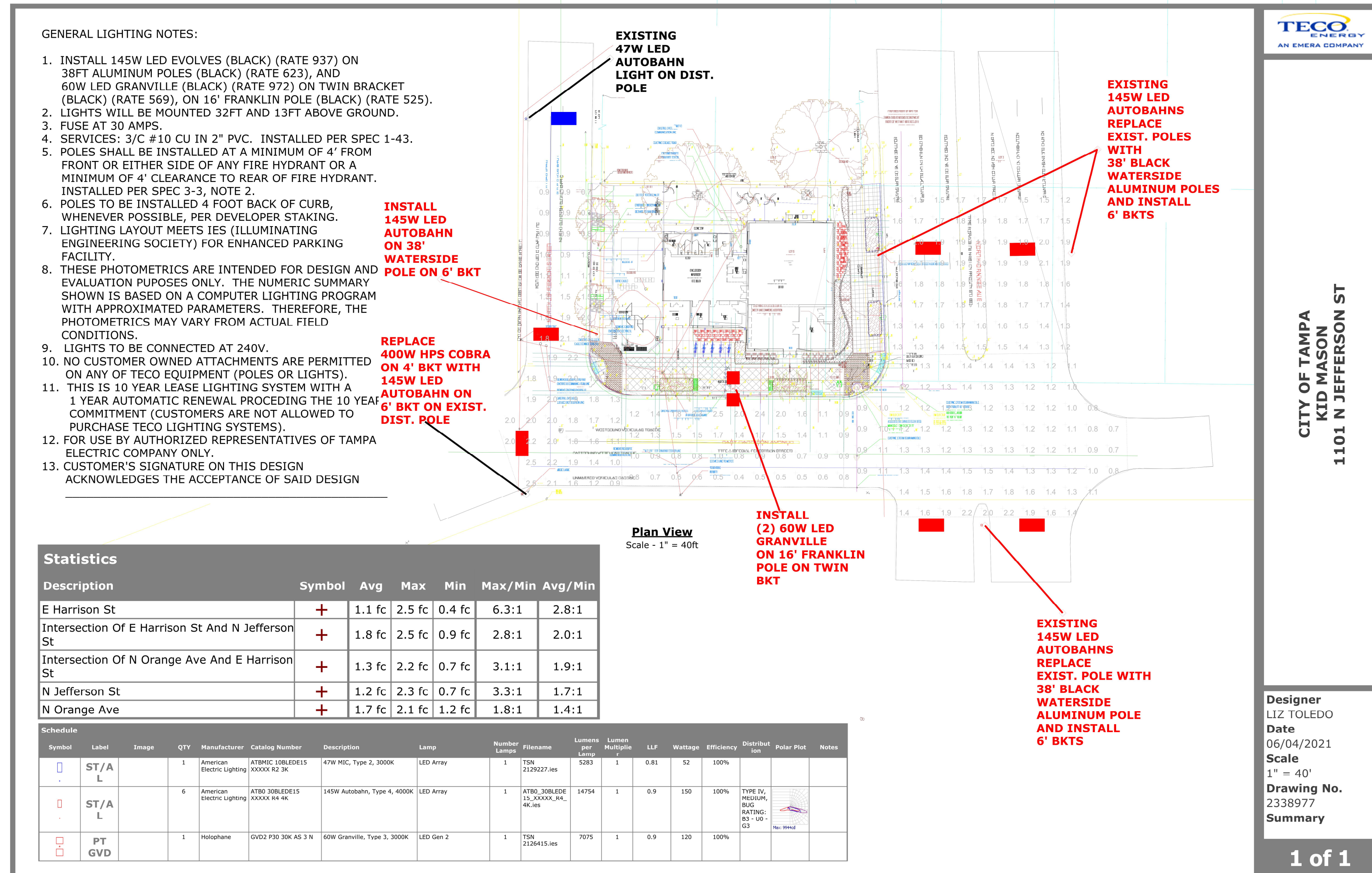


1 RISER DIAGRAM
1/2" = 1'-0"

FAULT CURRENT

UTILITY TRANSFORMER VOLTAGE	208 V	
ASSUMED TRANSFORMER SIZE	150 KVA	
AFC AT TRANSFORMER	48041 AMPS	
BUS	AVAILABLE FAULT CURRENT	MINIMUM PANEL AIC
MAIN 'MDP'	48041	65000
PANEL 'P-1'	16797	22000
PANEL 'P-2'	14015	22000

FOR REFERENCE ONLY



UTILITY LIGHTING NOTES

- Plan shown FOR REFERENCE ONLY.
- The City of Tampa has paid for lighting improvements directly through TECO.
- Contractor shall coordinate the installation of the demolition and light installation in its schedule of work.
- TECO Point of Contact for Site Lighting

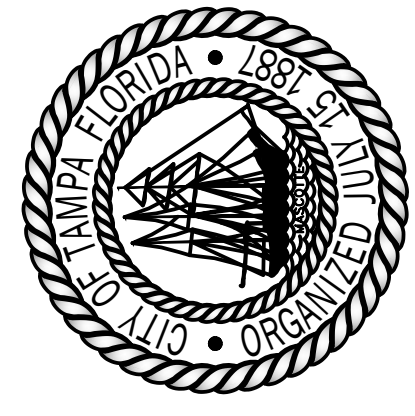
Liz Toledo
Tampa Electric Co.
LEAD Lighting Field Engineer Tech
(813) 630-6204 Office
(813) 309-3588 Cell
lztolledo@tecoenergy.com

City of Tampa
CONSTRUCTION SERVICES DIVISION
PLAN APPROVAL
BLD-22-0491693 9/6/2022

THIS SET OF PLANS MUST BE KEPT ON THE JOB AT ALL TIMES. ANY REVISIONS, MAKE-UPS, OR ALTERATIONS WITHOUT WRITTEN APPROVAL FROM THE CITY OF TAMPA CONSTRUCTION SERVICES DIVISION WILL BE HELD TO PERMIT OR APPROVE THE VIOLATION OF ANY CITY OR STATE CODES REQUIRED FOR CODE COMPLIANCE.

No.	Date	Description

KID MASON CENTER RENOVATION
TECO LIGHTING PLAN
PROJECT SHEET



Parks & Recreation
CITY OF TAMPA
Planning and Design
3402 W. Columbus Drive
Tampa, FL 33607

FOR REFERENCE ONLY

Drawn:	
Checked:	
Approved:	
Date:	MARCH 9, 2022
Sheet Size:	ARCH D
Sheet Scale:	
Sheet	UL101
of	44 Sheets